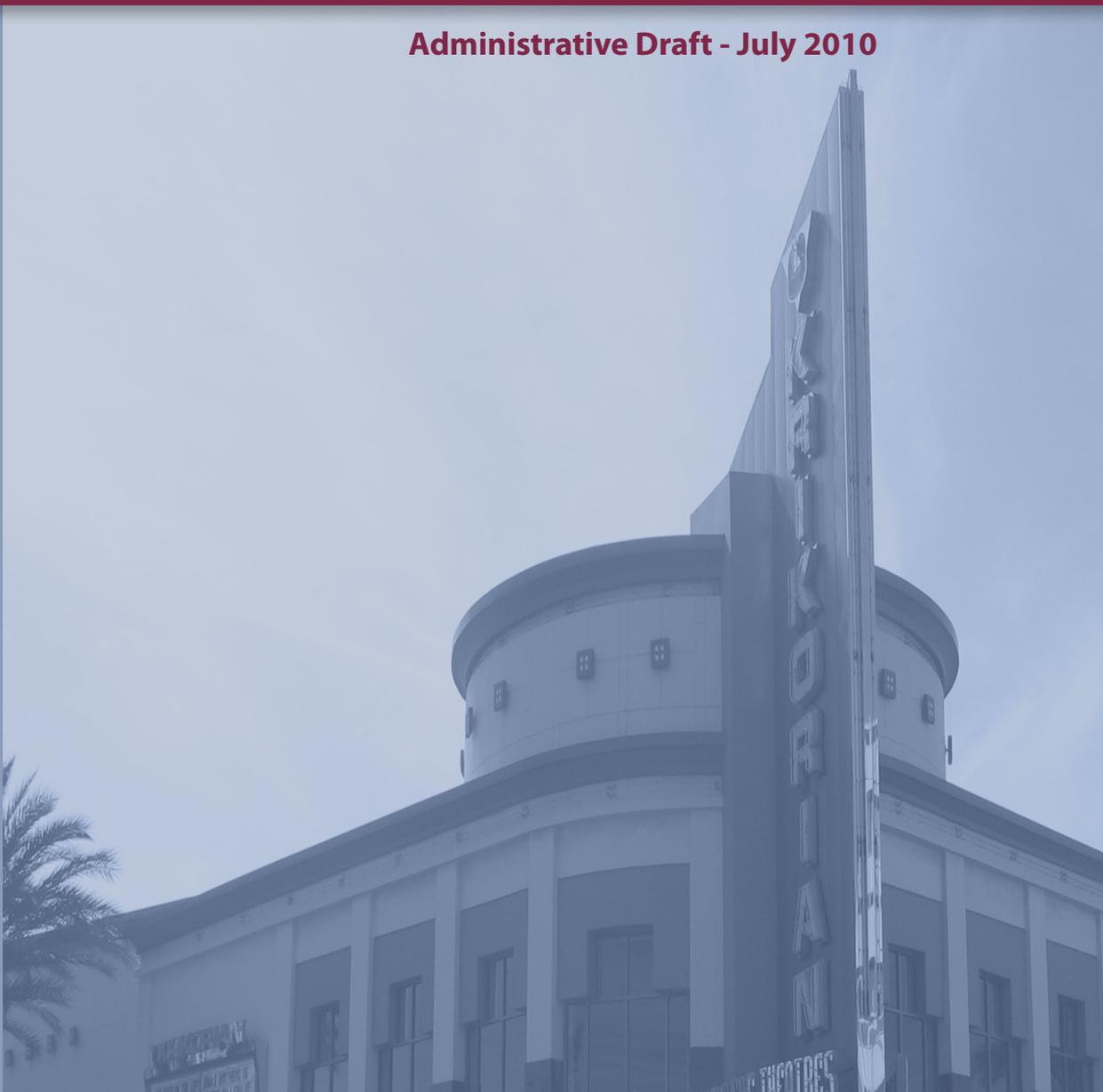


City of Downey

Downtown Specific Plan

Administrative Draft - July 2010



Prepared by:



Planning
in Motion

Hogle-Ireland, Inc.

In association with:

URBAN STUDIO



**URBAN
CROSSROADS**

Downey

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Introduction ◀

City of Downey

Downtown Specific Plan



1. Introduction

1.1 Vision

The Downtown Downey Specific Plan was initiated by the City to guide growth and development in Downtown, encourage economic revitalization, and create a lively center of activity for the City. The Specific Plan establishes 131 acres as mixed use and looks to create unique districts with specific development standards and design guidelines. Downtown Downey is envisioned as a vibrant urban center providing a wide array of dining, working, living, shopping, entertainment, and cultural opportunities all within a short walking distance.

Downtown districts have been established based on the existing building patterns within each area. The Downtown Specific Plan seeks to preserve and enhance the features that provide each district with its unique character, while simultaneously improving the liveliness and aesthetics of the overall Downtown area. The overarching objectives for the Specific Plan area are to:

- ▶ Establish Downtown Downey as a diverse area with a variety of activities to support and entertain all ages;
- ▶ Promote the Downtown as an economic core creating new employment opportunities;
- ▶ Strengthen pedestrian, bicycle, and transit-oriented characteristics while ensuring access for automobiles;
- ▶ Preserve and enhance the unique character of existing structures;
- ▶ Identify Downtown as a cultural center for Downey; and
- ▶ Concentrate growth in Downtown while respecting and preserving surrounding residential neighborhoods.



Downtown
Downey
Specific Plan
Objectives

A vision of
Downtown
Downey as
envisioned by
the Specific
Plan

Section 1
Introduction

1.2 History/Background

Image:
Crawford
Street
(Downey Ave.)
at First Street
(Firestone
Blvd.) around
1880

(Courtesy of the
Downey Historical
Society)



When Downey was founded in 1873, the developers might well have used the slogan of today's Chamber of Commerce: "Downey . . . Future Unlimited." The history of Downey begins with a 96-acre parcel of Rancho Santa Gertrudes that became the central district of a community called "Downey City." The town derived its name from John Gately Downey, an Irish immigrant

who had come to California during the Gold Rush and succeeded to become Governor of California. He helped build the economic foundation of Southern California, effecting a transition from an open cattle range to an agricultural district of small farms.

Downey's strategic location was, and continues to be, an important asset in its economic viability and growth. As early as 1889, when political factions from Santa Ana met with officials from Los Angeles County to discuss the creation of Orange County, Downey was chosen as the obvious meeting place. By the turn of the century, Downey was the undisputed center for business and social life in the area.

Initially, much of the City's development patterns were determined by the expansion of the railroad. Development of the City proceeded slowly. The 1873 tract map established 16 blocks, reserving 10 acres for a railroad station for the Union Pacific Railroad on its route between Los Angeles and San Diego. As of 1900, the native landscape had been cleared and roughly 300 homes had been established in the district. Over the years, Downtown Downey continued to grow to include a courthouse, post office, schools, churches, businesses, and more houses located in Downtown near Downey Avenue and Firestone Boulevard (then Crawford and Front Streets). One of the first buildings in Downey was the Christian Church located at the corner of Fourth and New Streets. The construction of the church marked the beginning of the present Downtown.

Many Downey pioneers had achieved success in business and politics in Los Angeles County. From 1900 to 1917 was perhaps the "Golden Age" of Downey. In this era, a citrus cooperative was formed, the Downey Board of Trade (later renamed the Downey Chamber of Commerce) was organized, and the streets were lighted up with electricity. Around this time, World War I sparked local interest in the aviation branches of the military. The result was the establishment of a number of major aviation business enterprises in Downey.

Online Link:
For more
information on
Downey's history
visit:

<http://www.downeyhistoricalsociety.org/>

Throughout the years a number of aviation companies operated in Downey, including: Vultee Aircraft, North American Aviation, and Rockwell International, which was later bought by the Boeing Company whose facilities produced systems for the Apollo Project, and the space shuttle. This industry thrived in the City for 70 years, ending when the former Rockwell plant was converted to the Downey Landing development.



Image: Apollo 11 Space Capsule returns to Downey after its flight to the Moon, 1969

(Courtesy of the Downey Historical Society)

Despite the introduction of the aviation industry and railroad station, the City of Downey remained an agricultural area growing grain, corn, castor beans, and various fruits well into the 1940s. Following the end of World War II, however, Downey, like many cities in the area, experienced significant population and economic growth with the end of the war. In 1940, the population of Downey was approximately 12,000 and by 1960, it had surpassed 86,000. The orange groves were rapidly replaced by light industry and tract homes. Downey was one of the first suburban "planned communities" with quality homes, schools, and retail centers. The movement toward incorporation escalated with the population explosion of the 1950s and 1960s.



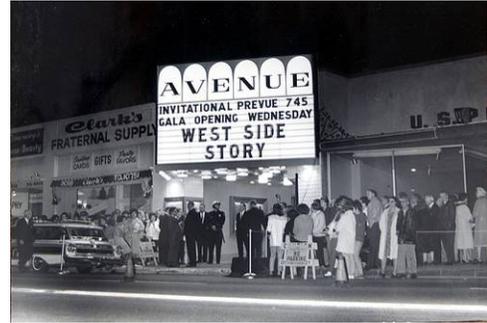
Image: Downey Avenue looking south from above Fourth Street, around 1947

(Courtesy of the Downey Historical Society)

Image:
Avenue
Theater on
Downey
Avenue,
between
Second and
Third Streets,
1960s

(Courtesy of the
Downey Historical
Society)

With the growth in population and new development in Downtown, one of the first significant investments in redevelopment occurred in 1967 with the widening of Downey Avenue. The realignment resulted in several blocks of new storefronts and landscape improvements. In the 1970s, the City began the first steps to confront the issue of downtown revitalization. In the years since the adoption of the Neighborhood Revitalization Strategy in 1978, several successful projects have been completed, including: Embassy Suites/Mimi's Cafe and the Civic Center complex. In 1990, a \$100 million remodel and expansion at Stonewood Center Mall was completed. Other recent additions to the City include the opening of the Green Line light rail station in 1994, the Gas Company's Energy Resource Center in 1995, and the Krikorian Theatre Complex and City parking structure in 1997.



In the 1990s, Downey again faced the challenge of revitalizing Downtown. A Blue Ribbon Committee made up of City representatives, business leaders, and residents analyzed the downtown area in 1991. The result was the creation of the Downey Avenue Street Fair, started by the Chamber of Commerce in 1994. Held on Brookshire Avenue, the fair draws over 20,000 people to Downtown each spring. The City would like to see the street fair moved to Downey Avenue in upcoming years as the Downtown is redeveloped. The revitalization of Downtown has become one of the City's greatest priorities to ensure that Downey flourishes in the twenty-first century.

1.3 Project Setting

1.3.1 Regional Context

The City of Downey is located approximately 13 miles southeast of downtown Los Angeles in southeast Los Angeles County. Downey is a mid-size city of an estimated 113,469 residents, occupying approximately 12.8 square miles. Jurisdictions neighboring Downey include the cities of Paramount, Bellflower, Norwalk, Santa Fe Springs, Pico Rivera, Commerce, Bell Gardens, and South Gate. Downey has convenient access to several major freeways, including Interstate 5 (I-5), Interstate 105 (I-105), Interstate 710 (I-710), and Interstate 605 (I-605), drawing businesses and offering housing opportunities for commuters working in downtown Los Angeles. Throughout the years, Downey has been highly recognized for its centralized location, top medical facilities, quality residential neighborhoods and schools, and an unmatched family lifestyle. Exhibit 1.1 illustrates the regional context of the Downtown Downey Specific Plan area.

Exhibit 1.1: Regional Context Map

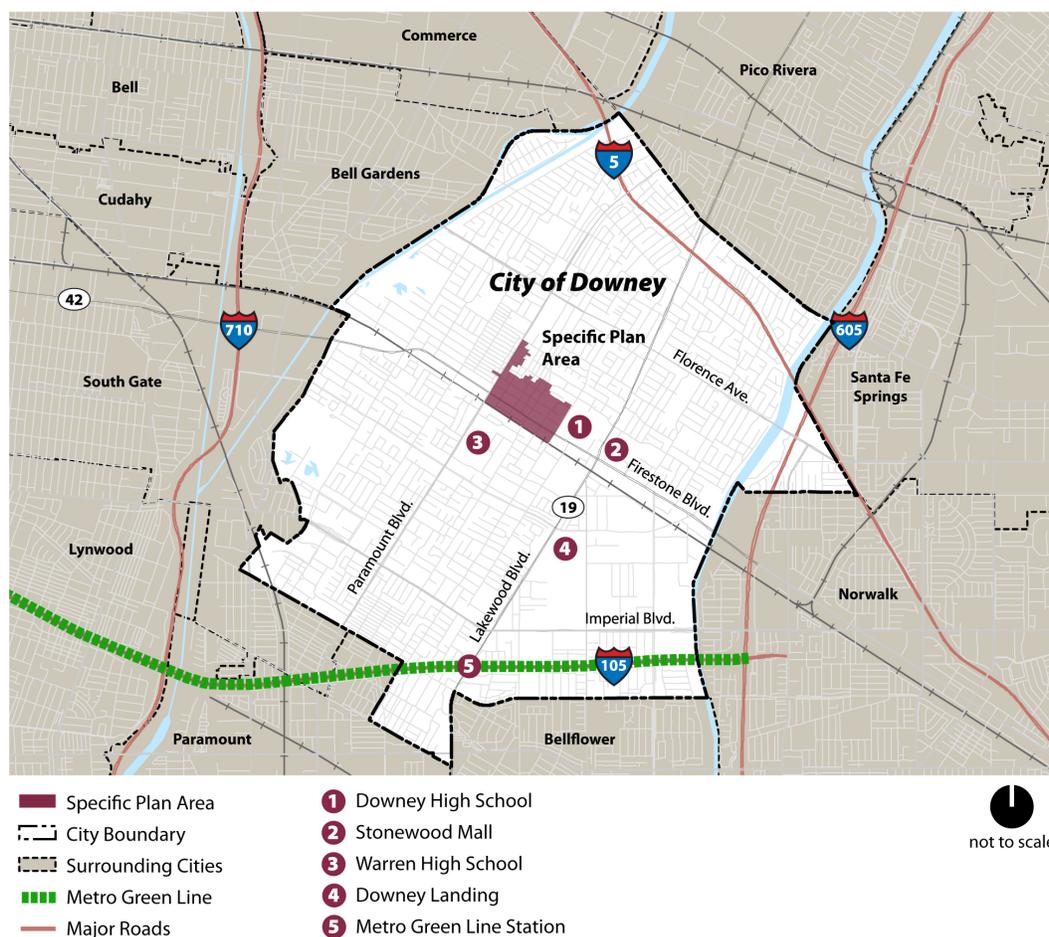
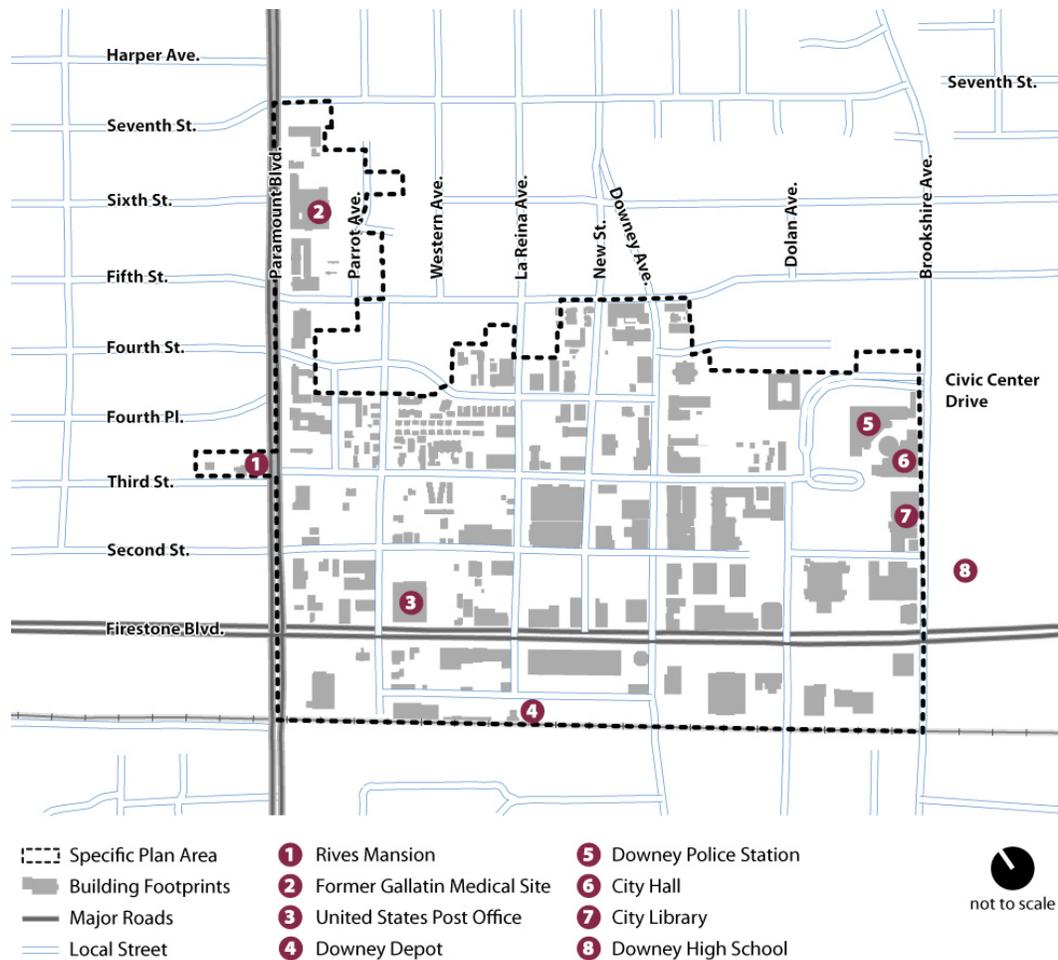


Exhibit 1.1 Regional Context Map Section 1 Introduction

1.3.2 Community Context

Historically, the area around Downey Avenue from Firestone Boulevard to Fifth Street has been identified as the Downtown district of Downey. Downtown Downey is at the center of the community, containing major landmarks such as City Hall, the City Library, the Civic Theater, the Downey Depot, and the Rives Mansion. The Specific Plan boundaries are loosely formed by Brookshire Avenue to the east, the Union Pacific railroad right-of-way to the south, Paramount Boulevard to the west, and an irregular northern boundary along Fourth Street, extending to Fifth Street in areas and including the former Gallatin Medical site. The Rives Mansion, located at the northwest corner of Third Street and Paramount Boulevard, has also been included in the project area. The Specific Plan area consists of approximately 131 acres situated near the geographic center of the City of Downey. Exhibit 1.2 illustrates the location and boundaries for Downtown Downey.

Exhibit 1.2: Community Context Map



1.4 Consistency with Local and State Regulations

1.4.1 State of California Government Code

Section 65451 of the Government Code requires that specific plans include text and diagrams that specify all of the following:

- ▶ The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan
- ▶ The proposed distribution, location, and extent and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan
- ▶ Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable
- ▶ A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out the specific plan
- ▶ A statement of the relationship of the specific plan to the general plan.

This Specific Plan is designed to meet the requirements of the State of California Government Code. The Specific Plan is adopted by City Council ordinance and thereby establishes the zoning regulations for the development of the Specific Plan area.

1.4.2 2025 General Plan

As shown in the City of Downey 2025 General Plan, the Specific Plan area is currently designated Mixed Use (MU), with the exception of the Gallatin Medical site, which is designated Office (O) and Medium Density Residential (MDR); and the Rives Mansion, which is designated Office (O) and Low Density Residential (LDR). The MU designation was established through Vision 2010, the 1992 City of Downey General Plan to allow for flexibility of land uses in specific areas of the City. In Downtown, this land use designation is intended to facilitate combined commercial and residential uses, implementing Smart Growth strategies. Prior to the creation of the MU designation, Downtown was designated exclusively commercial with no opportunity for residential development. The Mixed Use designation allows for residential densities of up to 24 dwelling units per acre. Exhibit 1.3 indicates the General Plan designations in Downtown.

The primary challenge to development in Downtown is the high demand for parking in the eastern portion and overabundance of parking supply in the western half. Consequently, a Downtown Plan overlay was also created to establish flexible parking standards, generally reducing the number of spaces required based on the assumption that within Downtown, residents are able to

Online Link:
For information visit:

www.leginfo.ca.gov

To view the 2025
City of Downey
General Plan
visit:

<http://www.downeyca.org/>

Exhibit 1.3 Existing General Plan Land Use Designations

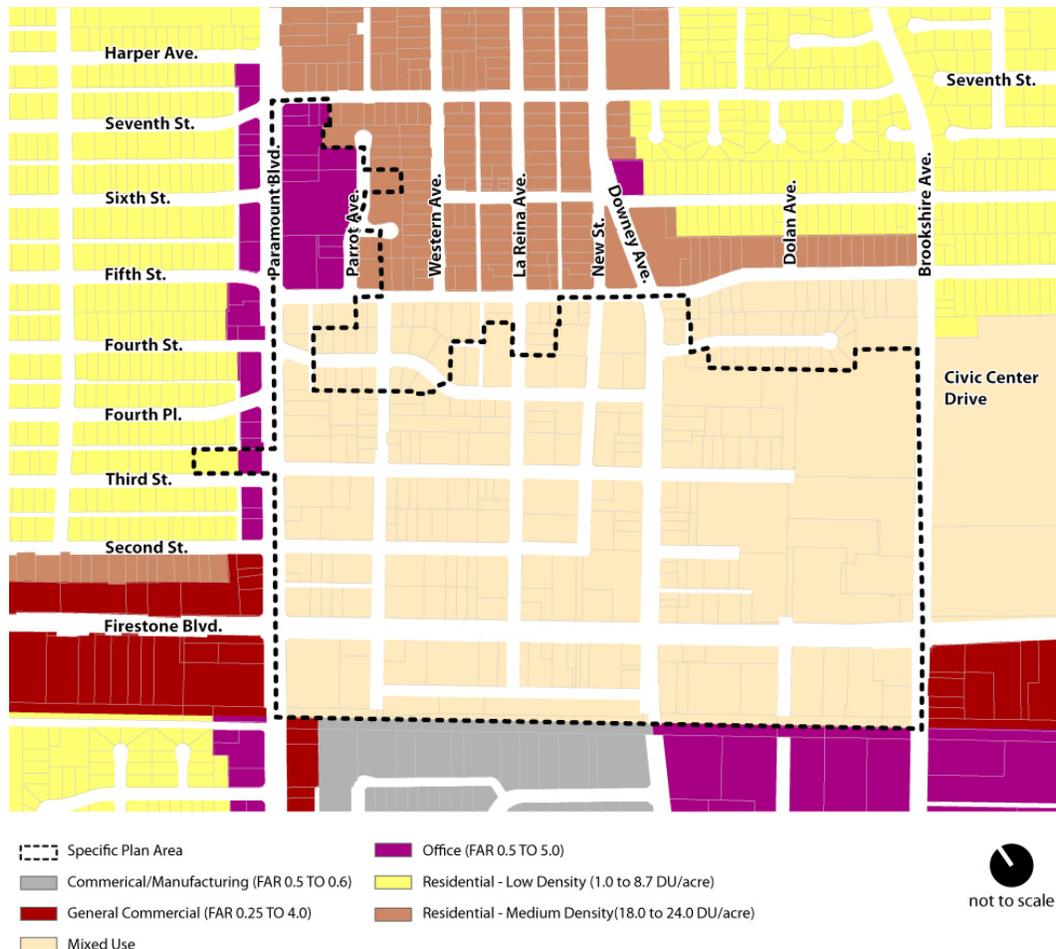
Section 1 Introduction

park once to visit multiple tenants. To further enhance the effectiveness of the flexible parking standards, the City has taken an active role in providing public parking both on the street and in structures, thereby reducing the parking requirements for tenants operating in the area.

In contrast to the Downtown core, the Gallatin Medical site and the Rives Mansion are designated Office (O) in the 2025 General Plan. This designation is generally designed to promote the development of professional and medical offices. The Office designation in the Gallatin area is more specifically intended to allow for the redevelopment of medical uses on the site, maintaining the jobs and services that were historically provided to the community. The Specific Plan area also includes small pockets designated for residential uses. There are several properties designated medium-density residential along Parrot Avenue, and the western half of the Rives property is designated low-density residential.

A General Plan Amendment has been prepared to modify land use designations on these parcels from Residential and Office to Mixed Use. A General Plan Amendment will be adopted concurrently with the adoption of this Specific Plan and upon adoption of the General Plan Amendment; the Specific Plan will be consistent with the General Plan. Please refer to Appendix A for a detailed description of Specific Plan consistency with additional elements of the General Plan.

Exhibit 1.3: Existing General Plan Land Use Designations



1.4.3 City of Downey Zoning Code

The Specific Plan area currently includes a virtual plethora of zoning, ranging from Multifamily Residential to General Commercial and Professional Office to General Manufacturing. The majority of the parcels in the Specific Plan area are zoned commercial, specifically Central Business District (C-3) with a few small sections on the northern end of the area zoned General Commercial (C-2) and Multiple Family Residential (R-3) as shown in Exhibit 1.4.

Exhibit 1.4: Existing Specific Plan Zoning

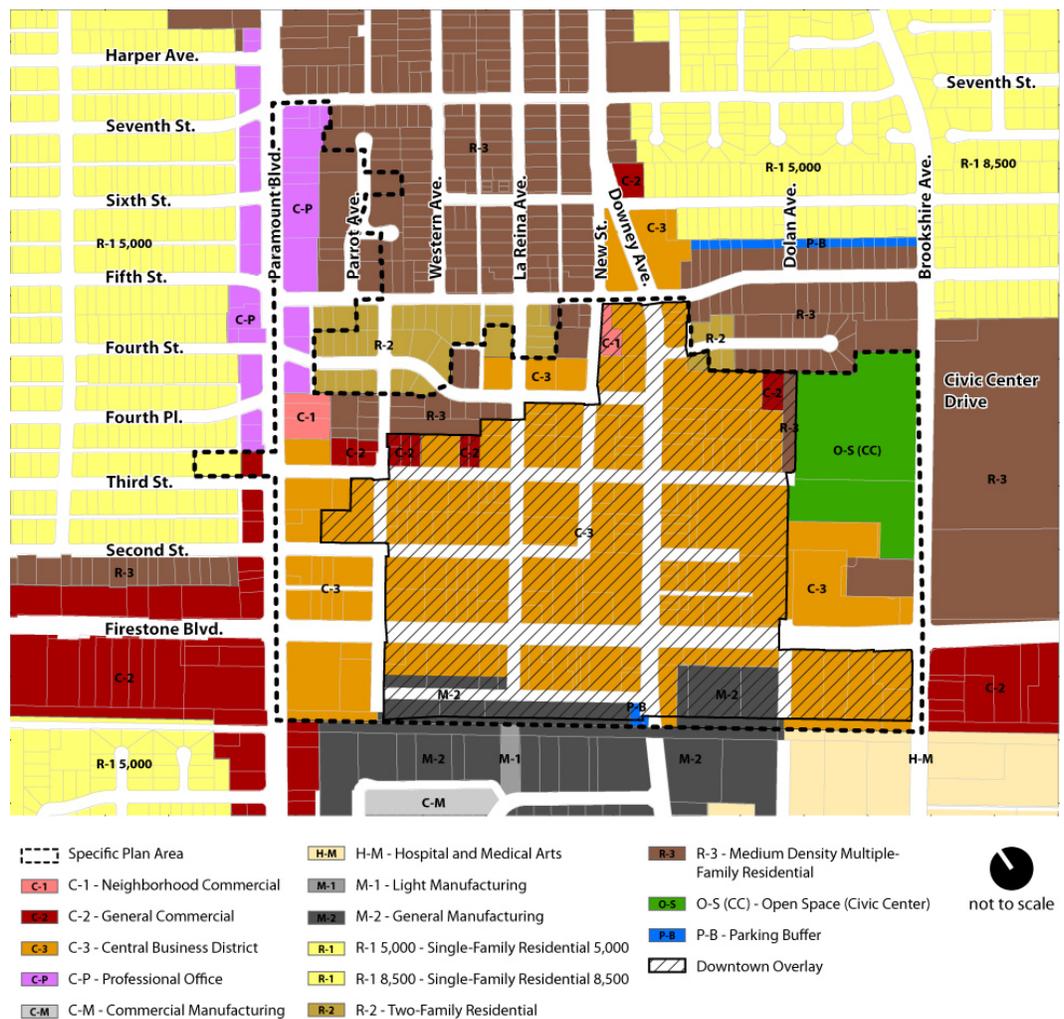


Exhibit 1.4 Existing Specific Plan Zoning

Section 1 Introduction

The C-3 zone was created specifically for Downtown to allow for the development of intense commercial and service uses. The C-3 zone is intended to provide opportunities for a wide variety of goods and services in establishments whose operating characteristics attract them to a central location in the City and which require good exposure in a readily identifiable and accessible setting. The existing development standards for the zone are focused on the compatibility of downtown uses with abutting noncommercial development and ensuring that the impacts of older development, heavy traffic, or other operating characteristics are minimized. South of Firestone Boulevard, along the railroad tracks, there are a few parcels zoned General Manufacturing (M-2) including the Downey Depot. Additionally, along Paramount Boulevard, the Gallatin Medical site area is currently zoned Professional Office (C-P) which allows medical and professional office uses. The

In October of 2000, the City Council adopted the *Downtown Plan for Downey's Historic Downtown District*. The Downtown Plan was a zoning amendment that simplified the zoning in Downtown from seven zones to one Mixed Use zone in the form of an overlay. The Downtown Plan Overlay Zone (D-P) established permitted uses, development and parking standards, sign standards, and allowances for outdoor dining, vending machines, and newspaper racks.

The implementation of the Specific Plan will establish the zoning for the Downtown Downey Specific Plan including the land use districts introduced in Chapter 2. The Downtown Downey Specific Plan land use districts will establish regulations to implement General Plan goals, policies, and objectives and will provide for superior development by allowing a greater degree of design and land use flexibility within the framework of a site-specific development plan.

1.5 Document Organization

The Downtown Downey Specific Plan includes seven chapters, each providing information and guidelines for the development and implementation of the uses within the boundaries of the Specific Plan area. A brief description of each chapter is provided below.

- ▶ **Introduction:** The introductory chapter provides general information about the Specific Plan, the history and location of Downtown, a project summary, and discussion of consistency with State law and local governing documents.
- ▶ **Land Use Districts:** The Land Use chapter describes the five land use districts identified for Downtown, and provides a Land Use District Map and a Table of Permitted Uses.
- ▶ **Design Guidelines and Standards:** The Design Guidelines and Standards chapter provides specific standards for how buildings in the Specific Plan area can be developed, including setbacks, parking requirements, as well as guidelines to enhance the architectural style of existing and future buildings. This chapter provides guidelines for design features including: streetscapes, signage, lighting, rooflines, and other design elements found Downtown.
- ▶ **Mobility Plan:** The Mobility chapter identifies established and planned conditions for roadways within the Specific Plan area, including contextual exhibits and conceptual street sections. This chapter also explores options for alternative forms of transportation in Downtown, including bicycles, buses, and walking.
- ▶ **Parking Plan:** The Parking chapter identifies parking strategies for the Downtown Specific Plan area and addresses how the City can better utilize over-parked districts and create shared parking opportunities for under-parked areas.
- ▶ **Infrastructure Plan:** The Infrastructure chapter provides information about accessibility to key utilities and public services including water, sewer, energy, police, fire, and other services necessary to develop the area.
- ▶ **Administration and Implementation:** The Administration and Implementation chapter identifies strategies to execute the recommendations put forth in the Specific Plan. This chapter also includes the necessary steps to implement the Specific Plan document and the actions required to modify the Plan.
- ▶ **Appendices:** Two appendices accompany the Specific Plan. The first compares the goals and policies of the adopted 2025 Downey General Plan to the goals and guidelines found in the Specific Plan. The second provides definitions of terms used in the document.



2

Land Use Districts

City of Downey

Downtown Specific Plan



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2. Land Use Districts

2.1 Catalytic Opportunities and Recommendations

Six catalytic strategies are envisioned to transform Downtown Downey into a vibrant, family-oriented, and pedestrian-friendly town center:

- ▶ **Retail Development:** A strategy to retain and strengthen local merchants while attracting new retailers to Downtown.
- ▶ **Housing Development:** A plan to attract a wide range of housing types to provide a customer base for retail and create a daytime and nighttime population in Downtown.
- ▶ **Park-Once System:** An approach to consolidate parking and share parking requirements among different land uses.
- ▶ **Public Gathering Spaces:** A policy to provide parks and public spaces for residents, workers, and visitors to enjoy and participate in various events in Downtown.
- ▶ **Religious Institutions as Stakeholders and Catalysts:** As major property owners within Downtown, and service providers in the community, religious institutions and faith-based organizations can leverage their assets to further the vision for Downtown.
- ▶ **Sense of Identity:** Recommended investments to distinguish Downtown as a destination.

2.1.1 Retail Development



The retail core of a downtown is typically located around a pattern of streets accommodating cars and on-street parking. Off-street parking is typically located in a parking structure or lot, where spaces are convenient, but constructed at a pedestrian-scale. Like a retail center, the retail core typically includes one anchor tenant and a mix of national, regional, and local vendors. What makes this type of retail appealing to consumers is the overall pedestrian experience and mix of uses.

Retail cores with a historic and pedestrian-friendly character are rare, which is one of the reasons developers try to re-create them in newer centers such as Victoria Gardens in Rancho Cucamonga, The Grove in Los Angeles, and Americana at Brand in Glendale. Downtown has relatively large parcels of land and buildings offering attractive opportunities for retailers. The introduction of

Image: Retail development should reflect a main street feel, with specialty retail stores and restaurants promoting a lively environment.

Image:
Streetscapes should be oriented to pedestrians with inviting retail storefronts that draw patrons in.

new housing and office development, as well as new residents and workers in Downtown, strengthens existing businesses and attracts new retailers to the area. The retail core will focus on Downey Avenue and the area between Third Street and Firestone Boulevard.

The first priority should be placed on achieving significant transformation in the center of Downtown. Once the revitalization of this central area is visibly underway, the perceived value and attraction of nearby properties will increase dramatically.



During the public outreach process for the Specific Plan, many residents indicated they would spend more time and money in Downtown if the mix of retail businesses were expanded. The following opportunities and recommendations are aimed at strengthening existing retailers and attracting new businesses to Downtown.

Opportunities and Recommendations:

- ▶ Formalize a Business Improvement District or Merchants Association to unite existing business owners to improve the appearance and overall health of Downtown.
- ▶ Encourage a diversity of retail businesses that complement one another and promote resident involvement in multiple activities while visiting Downtown.

2.1.2 Housing Development

A variety of housing choices is necessary for the vitality of Downtown over the long term. To encourage a diverse Downtown population, a variety of housing types will be allowed including: studios, lofts, live/work units, condominiums, townhomes, duplexes, and courtyard or small lot single-family homes. Allowing for a variety of dwelling types can and should provide renter or ownership housing opportunities.

Downtown Downey possesses a number of characteristics that makes it an attractive location for introducing a variety of housing choices. Downey has the advantage of being in close proximity to employment-rich centers such as Long Beach and Los Angeles. Downey is central to major transportation corridors including the I-605, I-5, I-710, and the I-105 freeways, as well as the Metro Light Rail Green Line. Downey Regional Medical Center and the Kaiser Permanente Hospital will continue to attract doctors, nurses, and other healthcare workers looking for a wide range of housing locally. Furthermore, the redevelopment of Downey Landing with a mix of uses, including Kaiser Downey Medical Center, Downey Studios, Downey Landing Retail Center, and the Columbia Memorial

Science Learning Center will attract employees to the area who will seek housing choices nearby. There is available land in Downtown to accommodate a greater variety of housing than currently exists, including more ownership opportunities, more upscale housing, and affordable units for young professionals, families, and empty nesters.



Images: Housing opportunities in Downtown may include a range of product types, including townhomes, live/work units and courtyard housing.

Opportunities and Recommendations:

- ▶ The City of Downey should be an early investor in its own revitalization effort by providing financial and regulatory assistance for key projects or sites that are likely to facilitate the redevelopment of Downtown. Specifically, these projects should include the development of one or several major housing projects in Downtown to demonstrate the possibility of housing in this location.
- ▶ Introduce residential uses into mixed-use developments in conjunction with retail and office development.
- ▶ Use vacant lots, City-owned lots, and parking lots to develop a wide range of mixed-use development.
- ▶ Provide a mix of residential types that respond to both the regional market demand (upscale townhomes) and Downey public policy (rental and ownership for moderate- and low-income families).

Image: Well-integrated parking structures, with retail opportunities on the ground floor, are crucial to a successful “Park-Once” strategy.

2.1.3 Park-Once System

A Park-Once system consists of several well-designed parking structures integrated into a town center that serve to significantly reduce the number of vehicle trips for a given amount of activity. In the conventional sprawl development pattern, the disconnected nature of destinations requires every visit to be a separate trip. With the Park-Once system, trips are combined or replaced by walking trips to multiple stores or multiple destinations. Similarly, the number of parking spaces required is reduced or shared among the different uses. Finally, parking spaces are used more



efficiently in shared parking structures – for shopping and working during the day, for cultural and entertainment activities in the evening, and by residents at night.

In the Park-Once system, parking is dispersed in a number of parking structures with visible parking entrances and signage that direct drivers to available parking within a manageable walking distance to multiple destinations. A critical element to the Park-Once system is locating the actual parking structures in the interior of blocks where possible, designing the exterior to disguise the interiors, fronting the structure with other uses such as retail or residential and most importantly, providing ample, visible signage. In Downtown, the transformation of drivers into walkers begins with the design of parking structures that are compatible with retail, residential, office, and civic buildings. Parking structures may be built on existing parking lots, vacant properties, and City-owned land.

Opportunities and Recommendations:

- ▶ Construct a Park-Once parking structure on the east side of Downtown utilizing existing surface parking lots or City-owned land.
- ▶ Line street fronting portions of parking garages with retail and commercial uses that are compatible with surrounding buildings.
- ▶ Maintain a safe and clean environment in the existing parking structure on the west side of Downtown.

2.1.4 Public Gathering Spaces

To create a strategy for public open spaces within Downtown, we must begin by taking into consideration the character and location of existing public spaces. The City of Downey has a limited amount of open space. Twelve parks attract over 800,000 visitors a year. Downey's goal of providing 1.5 acres of open space per 1,000 residents falls short by approximately 50 acres. As redevelopment occurs, it will be critical to provide a variety of public open spaces, not only for the residents who live within Downtown, but for people who visit as well.

Parks are the most identifiable public spaces, but attention should be given to public streets – primarily Downey Avenue and Third Street. The “greening” of streets and the provision of seating areas can transform an otherwise mundane public right-of-way into an enjoyable pedestrian experience.



Image: Open space areas in Downtown Downey should entertain all ages and provide opportunities for a variety of outdoor entertainment.

Opportunities and Recommendations:

- ▶ **Third Street as a Primary Open Space** – Through the addition of new public places, new street furnishings, and improved materials, Third Street can be transformed from its current condition as a throughway to a centerpiece and focal destination. Improvements to Third Street will establish it as a place for people; a pedestrian-oriented parkway where residents chat with their neighbors, where visitors window shop, and where friends can meet up for a bite to eat. Wide sidewalks, landscape amenities, and a pedestrian scale will shift the character of the right-of-way, creating a walkable backbone for pedestrian-oriented Downtown redevelopment.
- ▶ **Open Spaces as Community Gathering Spaces** – Open Spaces for gathering and for recreation should be increased and improved throughout Downtown. The center of Downtown should feature a number of small public spaces distributed along Downey Avenue and Third Street. These will support commercial activities with space for outdoor cafes and vendors and create pocket plazas as gathering places.
- ▶ **Bike Routes** – Bicycle lanes should be provided throughout Downtown wherever possible. Striped lanes are recommended for specific roadways as indicated in Chapter 4, *Mobility Plan*. In addition, route signs to clearly mark the overall bike network are recommended.
- ▶ **Pedestrian Realm** – The pedestrian realm should be enhanced through street improvements along existing streets and a series of paseos that provide connections between major public spaces within Downtown.

2.1.5 Religious Institutions and Faith-Based Organizations

Places of worship have been a significant land use in Downtown since the City's incorporation. In fact, one of the first buildings in the City of Downey was the Christian Church located on the corner of Fourth and New Streets. The construction of the church marked the beginning of the present Downtown.

Religious institutions and other faith-based organizations have and will continue to maintain a significant presence in Downtown. At least six such uses are active within the Specific Plan area, and these organizations own a significant amount of property within Downtown. Some of these properties are large in size, as is the number of people who congregate on Sundays.



Image: First Baptist Church of Downey, one of the active religious institutions in Downtown, is located between Second and Third Streets.

Opportunities and Recommendations:

- ▶ Places of worship or fellowship attract hundreds of people on weekends for services. Retail establishments and restaurants should take advantage of this potential customer base.
- ▶ Existing religious uses and their facilities include large surface parking lots which could be redeveloped into buildings once shared parking strategies are established, providing new development opportunities in Downtown.
- ▶ Religious institutions are active community participants offering various services such as ministries, education, social services, (e.g., day care and homeless services) and sports leagues. When a large amount of property is owned by one organization, the City should encourage these properties to be developed as a cohesive planned campus rather than isolated structures with parking in between.

2.1.6 Sense of Identity

A destination is attractive to people, activities, and development when it has a sense of identity. A place with a sense of identity has character and is memorable to those that experience it. A number of elements contribute to a sense of identity including architecture, scale of buildings, landscaping, sidewalks, and overall pedestrian amenities. Energy emerges out of the mix of land uses for shopping, working, living, and relaxing. At the same time, little details such as lighting, street furniture, and music or sounds can affect the character of a place as much as the quality of architecture.

Downtown possesses many assets: a grid system of interconnected streets, compact blocks that are easily walkable, an abundance of parking, distinct civic

services, and an overall pedestrian-scale urban fabric. Many of these qualities are lost in the shuffle of vacant stores and lots, an excessive number of surface parking lots, inadequate supply of housing and retail destinations, issues with unsafe sidewalks and unkempt parking structures, and inconsistent design quality both in buildings and in landscape.

Opportunities and Recommendations:

- ▶ Identify the gateways into Downtown by designing landmarks and special pavings at the major intersections of:
 - ▷ Firestone Boulevard and Downey Avenue
 - ▷ Firestone and Paramount Boulevards
 - ▷ Firestone Boulevard and Brookshire Avenue
 - ▷ Brookshire Avenue and Civic Center Drive
 - ▷ Third Street and Downey Avenue
 - ▷ Third Street and Paramount Boulevard
 - ▷ Fifth Street and Downey Avenue
- ▶ Increase the amount and quality of the landscaping in Downtown by planting additional street trees and adding new parks and public gathering spaces.
- ▶ Improve the design quality of Downtown through enforcement of the Specific Plan and site plan review for modification of existing structures and new construction.
- ▶ Program events, festivals, and fairs within the Specific Plan area, particularly along Downey Avenue and Third Street, to attract people to Downtown.
- ▶ Incorporate public art, especially by local artists, in the form of murals, statues, and sculptures at key intersections, public gathering spaces, and near parking.



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2.2 Downtown Districts

This chapter introduces the five land use districts established to guide unique development approaches within specific areas of Downtown. The five districts are: Downtown Core, Downtown Residential, Firestone Boulevard Gateway, Paramount Boulevard Professional, and Civic Center. Development standards and design guidelines are provided for each district in Chapter 3.

Exhibit 2.1: Downtown Downey Land Use Districts

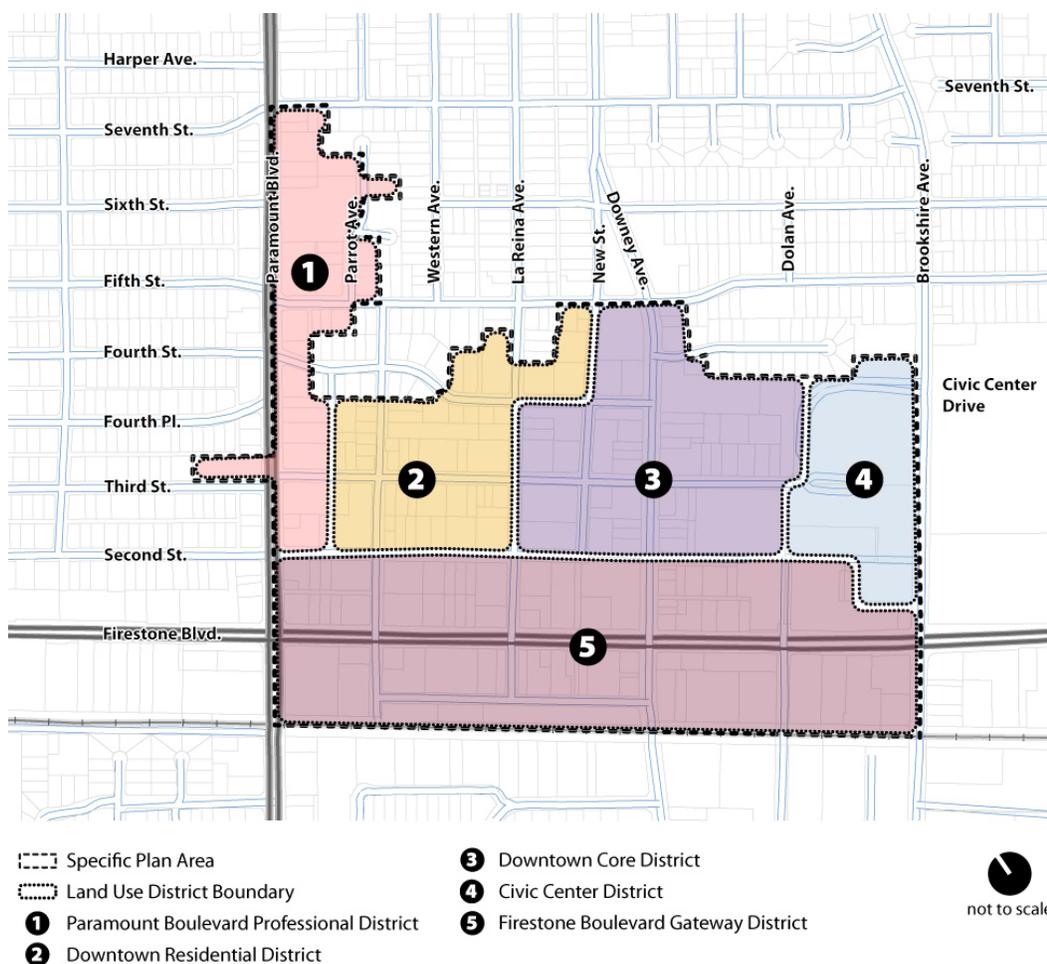


Exhibit 2.1 Downtown Downey Land Use Districts

Section 2 Land Use Districts

2.2.1 Downtown Core

The Downtown Core District is generally located north of Second Street and south of Fifth Street between La Reina Avenue and Civic Center Drive. The Downtown Core is approximately 20 acres in size, and includes the businesses and buildings directly surrounding the central intersection of Downey Avenue and Third Street. This central area has a number of small, locally owned restaurants, various retail and service vendors, financial institutions, and several large religious organizations. The First Baptist Church of Downey, St. George Greek Orthodox Church, United Methodist Church, and the Downey United Masonic Lodge are all located within the Downtown Core District, within one to two blocks walking distance of the main intersection of Downey Avenue and Third Street. The Avenue Theater, as well as a mix of restaurants, hair salons, real estate agents, and other service-oriented businesses line Downey Avenue. From Downey Avenue, Third Street hosts a number of financial institutions and professional offices, the Krikorian Theater, and a City-owned parking structure.



EXISTING CONDITIONS

Image (top, left): A variety of restaurants exist along Downey Avenue between Second and Third Streets that primarily serve employees working in and around Downtown.

Image (middle, left): Krikorian Theater, located on the southwest corner of Third Street and La Reina Avenue, is a primary entertainment venue in Downtown.



Image (middle right): St. George Greek Orthodox Church, located on the corner of Downey Avenue and La Villa Street is one of many religious institutions located in Downtown.



Exhibit 2.2: Downtown Core Land Use District

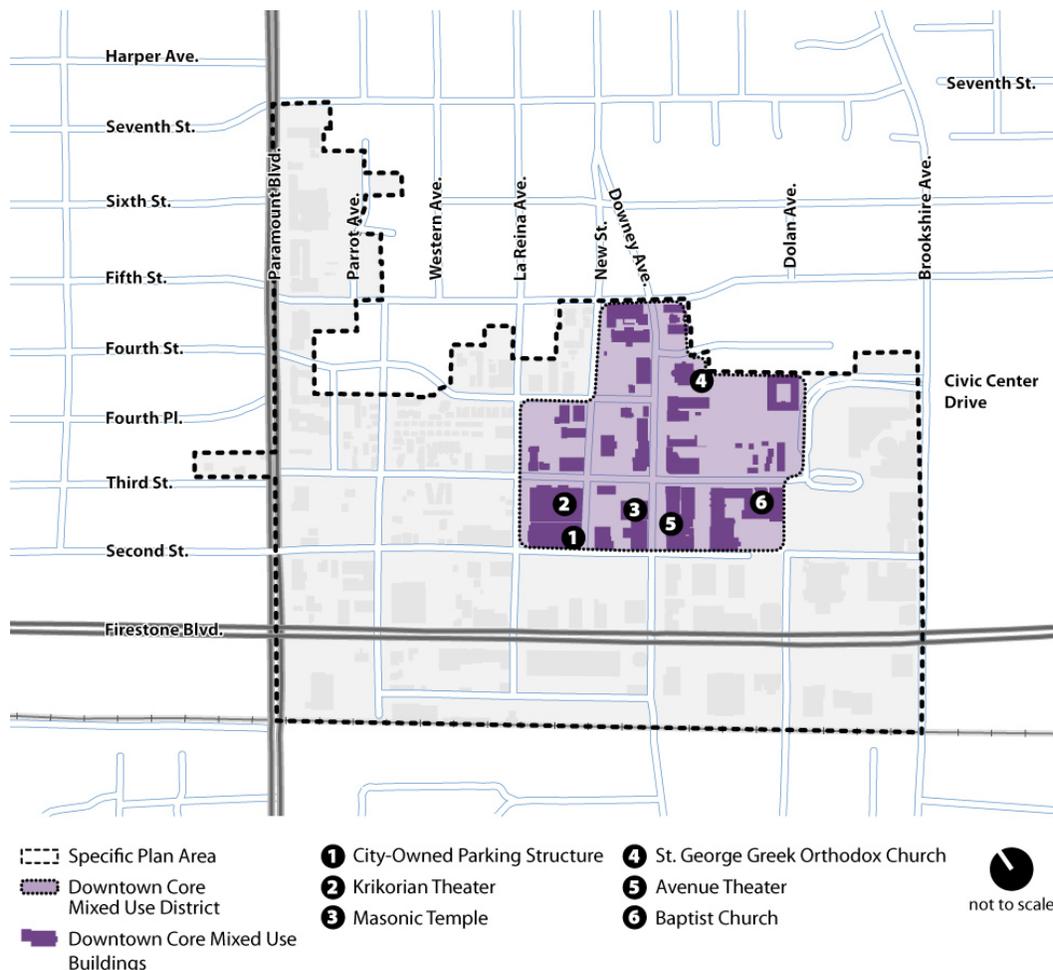


Exhibit 2.2
Downtown Core Land Use District
Section 2 Land Use Districts



VISION

As illustrated in the image to the left, the intent of this district is to create a vibrant, pedestrian-oriented downtown with a mix of uses. The objective is to produce a unique walkable shopping, dining, working, and living experience. The ground floor is reserved for commercial uses, such as boutique retail stores, bookstores, cafes, art galleries, coffee shops, and wine bars) with office and/or residential on the second and third floors.

2.2.2 Downtown Residential

The Downtown Residential District is located north of Second Street and south of Fifth Street between College Avenue and La Reina Avenue. The Downtown Residential District is approximately 14.5 acres in size and supports a variety of residential, commercial, and professional office uses. Existing housing types include: detached single family units, duplexes, and a multifamily senior complex known as the Heritage Court Apartments. In addition to housing, several law, insurance, and medical offices function well, as do daycare centers in the northern portion of the District.

Image: New commercial development along Myrtle Street between Second and Third Streets.



EXISTING CONDITIONS

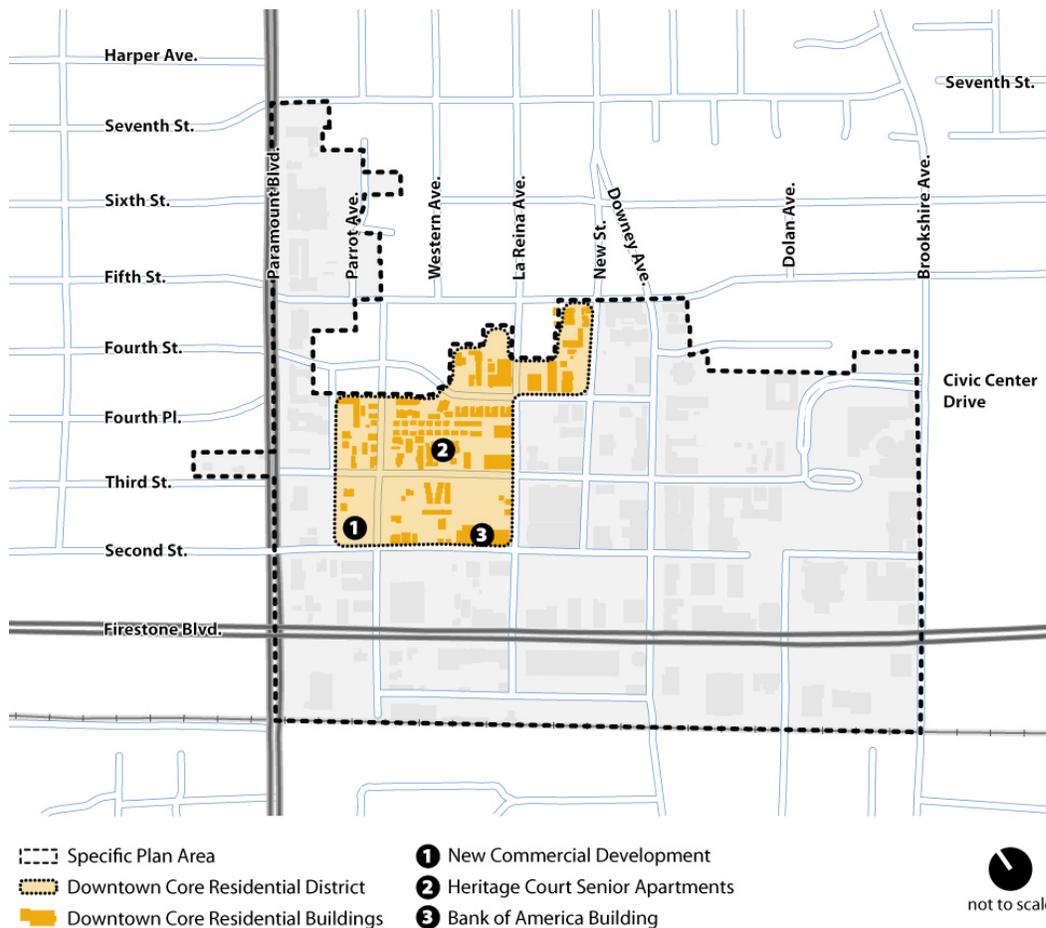
Image (middle, left): Heritage Court Senior Apartments on Third Street

Image (bottom, left): Existing multifamily courtyard housing in the Downtown Residential District



Image (bottom, right): Existing single-family home in the Downtown Residential District

Exhibit 2.3: Downtown Residential Land Use District



VISION

The primary intent of this district is to establish a residential neighborhood within Downtown. Neighborhood-serving commercial uses such as dry cleaners, markets, coffee shops, and newsstands are permitted on the ground floor only.

Image (top): The Downtown Residential District promotes service-oriented commercial uses with residential uses above.

Image (bottom): Compact residential development, such as courtyard housing, is encouraged.



Exhibit 2.3 Downtown Residential Land Use District Section 2 Land Use Districts

2.2.3 Firestone Boulevard Gateway

The Firestone Boulevard Gateway District is located north of the Union Pacific railroad right-of-way and south of Second Street, between Paramount Boulevard and Brookshire Avenue. Firestone Boulevard Gateway District is approximately 39 acres in size. Established uses include: general commercial, ranging from locally owned stores to larger chain retailers, from grocery stores to furniture wholesale to a variety of restaurants and financial institutions. Many of these businesses are located in small strip-mall structures facing the street with parking in rear of the building, although some of the larger retailers are housed in stand-alone structures with parking directly in front of their store.

Major retailers and employers along the Firestone corridor include Embassy Suites Hotel, two CVS Pharmacies, a Fresh and Easy Market, Portos Bakery, AAA, and a U.S. Post Office. The Downey Depot is located along Nance Avenue between La Reina Avenue and Downey Avenue, bringing residents from the surrounding community to Downtown. Generally, Firestone Boulevard serves as a major corridor through the City, with fast-moving traffic and commercial uses capable of supporting the region.



EXISTING CONDITIONS

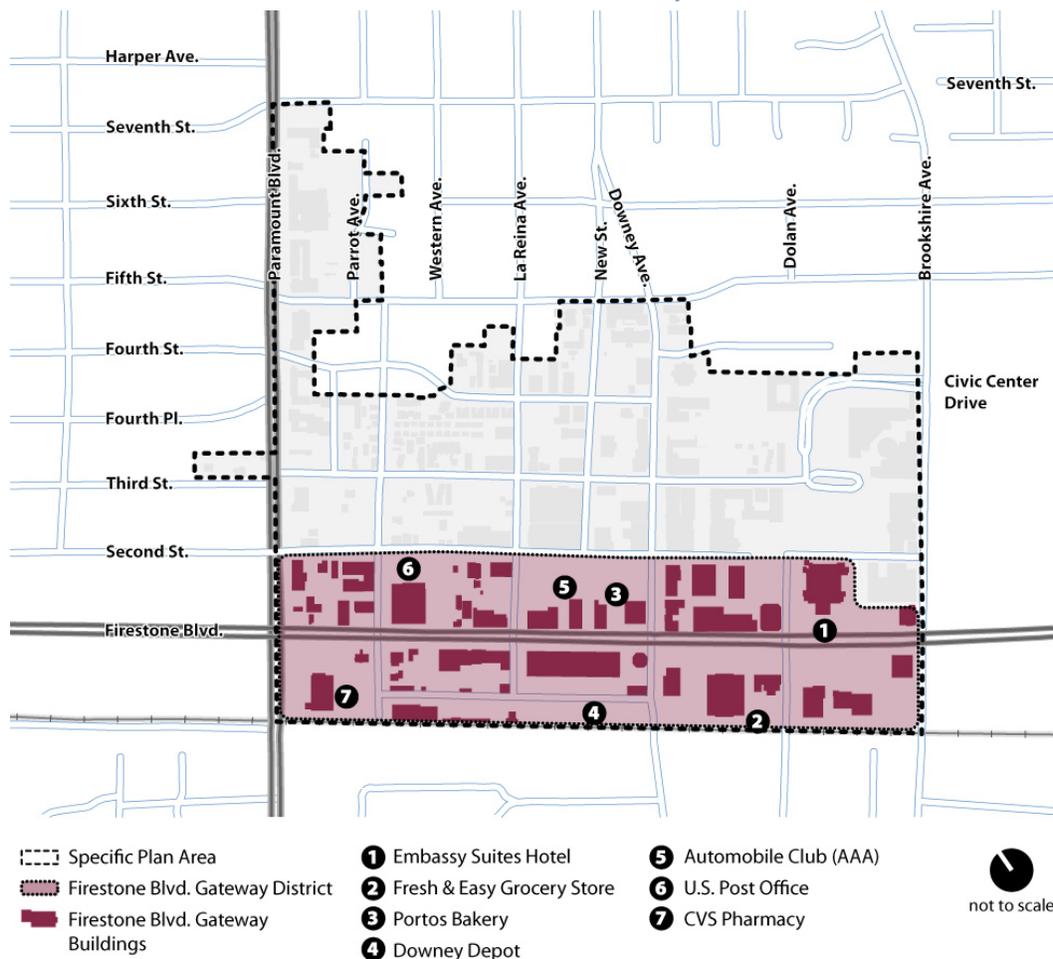
Image (top left): The Embassy Suites Hotel located along Firestone Boulevard is a main hotel in the City and is utilized by companies conducting business in the Los Angeles region.

Image (top, right): A typical streetscape along Firestone Boulevard with small retail stores fronting the street.

Image (middle, left): The Downey Depot transit center on Nance Avenue serves Metro buses as well as the Downey Link.



Exhibit 2.4: Firestone Boulevard Gateway Land Use District



VISION

The Firestone Boulevard District will be a lively area consisting of high-intensity/density development with flexible retail, office, and residential space. Entertainment uses such as bowling, sports bars, and dancing may also be located in this District. Along Firestone Boulevard, the ground floor is reserved for office and commercial uses; residential uses may be located on the second floor and above. Rental opportunities and creative residential products such as live/work units and lofted studios are encouraged. Firestone Boulevard will continue to facilitate through traffic; however special attention will be given to roadway treatments to facilitate pedestrian connections to Downtown.

Image: Development along Firestone Boulevard should include higher density buildings with retail uses on the ground floor and office or residential units on the second floor and up.



Exhibit 2.4 Firestone Boulevard Gateway Land Use District Section 2 Land Use Districts

2.2.4 Paramount Boulevard Professional

The Paramount Boulevard Professional District is located east of Paramount Boulevard and generally west of Parrot Avenue between Second and Seventh Streets. Within Downtown, the Paramount Boulevard Professional District includes approximately 12 acres and hosts a variety of commercial and professional office uses. The northern half of Paramount Boulevard consists primarily of the former Gallatin Medical site, which is comprised of vacant medical office buildings and surface parking lots. In recent years, there have been discussions regarding the future of the site and potential redevelopment opportunities. The City ideally would like the site to remain primarily as professional office uses, although the incorporation of residential would be considered. Farther south along Paramount is a mix of professional office (e.g. escrow, law, and real estate offices) as well as a number of popular local restaurants. The Rives Mansion, which has most recently been used as an event space, is also included in Paramount Boulevard District.



EXISTING CONDITIONS

Image (top): The Rives Mansion, located on Paramount Blvd at Third Street, has historical significance for many long-time residents

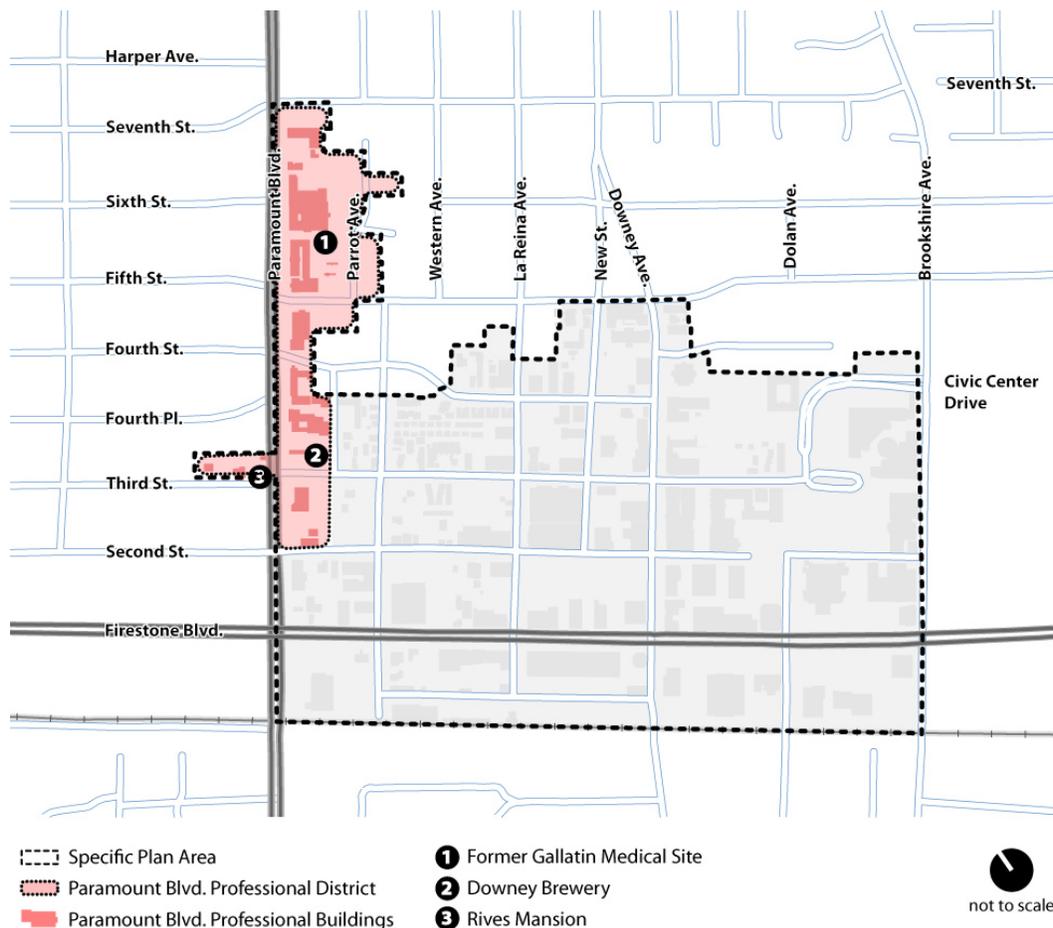


Image (middle, left): The former Gallatin Medical site on Paramount Boulevard north of Fifth Street.



Image (middle, right): Professional office building in the Paramount Boulevard Professional District.

Exhibit 2.5: Paramount Boulevard Professional Land Use District



VISION

The primary intent of this District is to create a professional office environment with related service uses (quick lunch dining, coffee, and juice bars). While the ground floor is reserved for office and commercial uses for properties fronting Paramount Boulevard, residential uses may be located on the second and third floors, as illustrated in the image to the right.



Exhibit 2.5 Paramount Blvd. Professional Land Use District Section 2 Land Use Districts

2.2.5 Civic Center

The Civic Center District is located west of Brookshire Avenue and east and south of Civic Center Drive. The Civic Center area is approximately 13 acres in size and is intended to provide for civic-related uses in Downey. Existing uses include City Hall, the Library, the Police Department, and the Downey Civic Theater. A significant amount of area consists of surface parking spaces for the high traffic uses in the area.



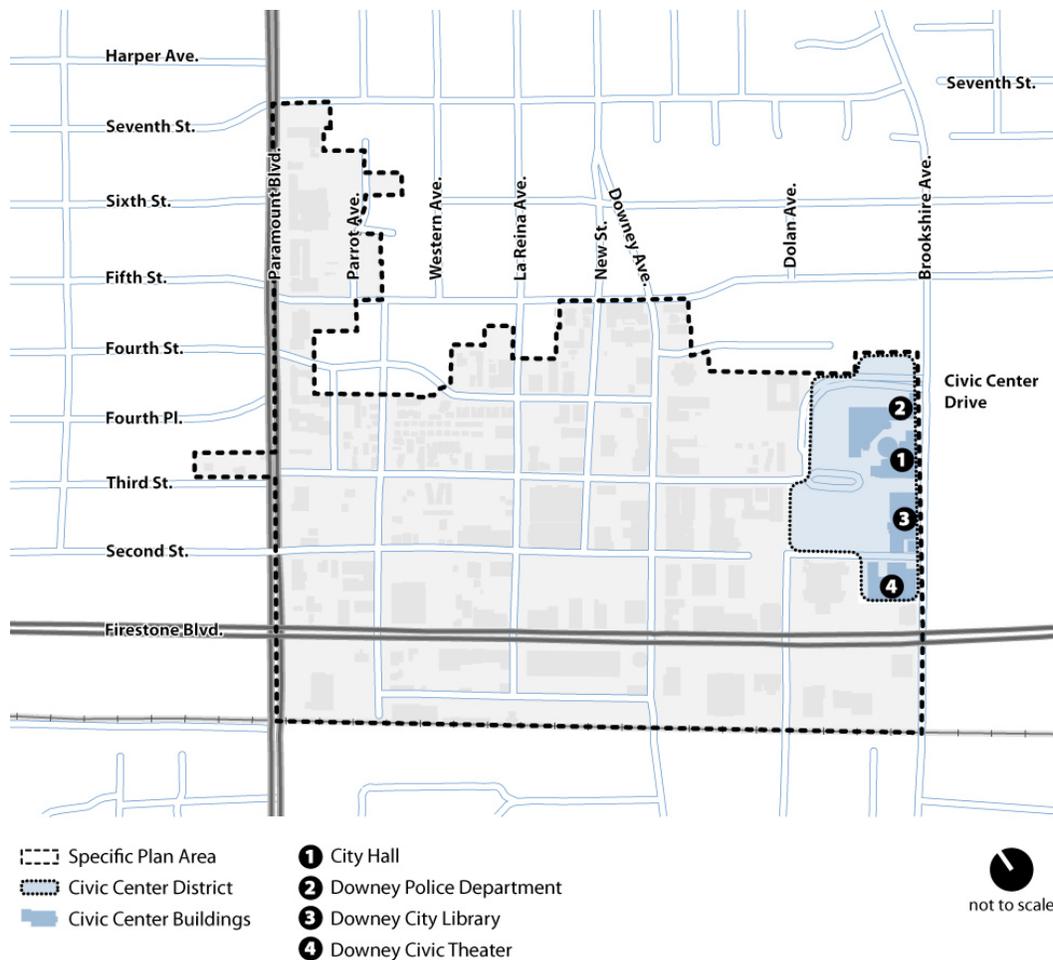
EXISTING CONDITIONS

Image (top): City Hall located between Civic Center Drive and Brookshire Avenue

Image (bottom, left): The Downey Civic Theater

Image (bottom, right): The Downey City Library

Exhibit 2.6: Civic Center Land Use District



VISION

The Civic Center District permits government facilities, public parks, and a transit center. Envisioned embellishments may include a large public gathering space, similar to the example shown in the image to the right, to provide a space for community festivals, fairs, and events; constructing a parking structure; and relocating the transit center to this District.

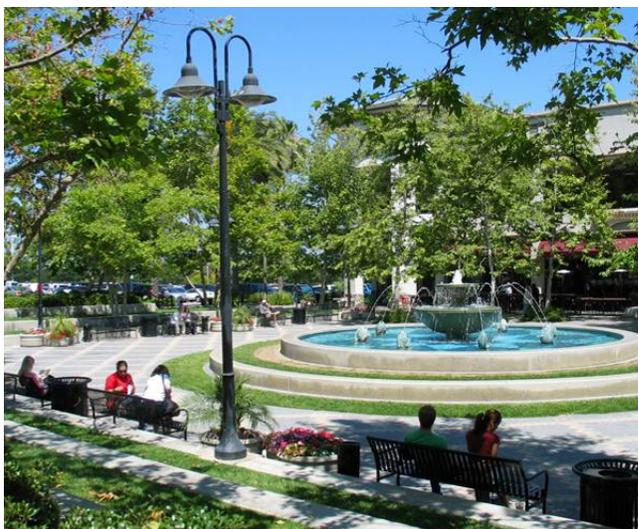


Exhibit 2.6 Civic Center Land Use District Section 2 Land Use Districts

2.3 Permitted Uses

Exhibit 2-1 shows the location and extent of land use districts within the Downtown Downey Specific Plan area. The five land use districts that compose the Specific Plan are as follows:

- ▶ Downtown Core
- ▶ Downtown Residential
- ▶ Firestone Boulevard Gateway
- ▶ Paramount Boulevard Professional
- ▶ Civic Center

Permitted uses for each land use district are identified in this chapter. Following an application submittal, the City Planner or designee shall make the determination as to whether the proposed use is permitted, conditionally permitted, prohibited, or allowed as a temporary or accessory use to a permitted use.

- ▶ A Permitted Use (P) is one that can be established as the primary use of a building without discretionary approval.
- ▶ A Second Floor Permitted Use (2nd) is a primary use that can be established on the second floor or above of a building. This applies only to uses in buildings fronting Firestone Boulevard, Downey Avenue, or Paramount Boulevard. The ground floor of buildings along these major roadways shall be reserved for nonresidential uses only. For all other streets in a given district, the identified use is permitted on any floor.
- ▶ A Conditionally Permitted Use (C) requires discretionary approval in the form of a Conditional Use Permit approved by the Planning Commission following review and a determination that the nature of the proposed use, at the location proposed, is subject to conditions of use and occupancy that may be set, and can be conducted without detriment to nearby properties and uses.
- ▶ A Prohibited use (NP) refers to a use or activity that is not permitted.
- ▶ A Temporary Use (T) refers to a use of limited duration that may be permitted as a primary or accessory use of a property. A temporary use shall require approval by the City Planner or designee prior to issuance of a temporary use permit and/or special event permit. A temporary use permit and/or special event permit application shall be submitted no later than thirty (30) days prior to the opening date of the temporary use and/or event.

- ▶ An Accessory Use (A) refers to a use customarily incidental and subordinate to the primary use of the land or building and located on the same lot with the primary use or building. If exterior modification and/or new construction is anticipated, an accessory use shall require approval by the City Planner or designee prior to issuance of a building permit.
- ▶ Any use not listed in the table shall be interpreted as not permitted in the Specific Plan area, unless determined by the City Planner or their designee to be substantially the same as a use permitted in the table.

Table 2.1: Permitted Uses by Land Use District	Permitted Uses by District				
	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Permitted Uses Key: C – Conditionally Permitted P – Permitted Use 2nd – Permitted Use on Second Floor or above NP – Use Not Permitted T – Temporary Use A – Accessory Use					
EATING AND DRINKING ESTABLISHMENTS					
Alcoholic Beverage Sales, On-site					
License Type 41 and Type 47	P	P	P	P	P
All other license types	C	C	C	C	NP
Catering Services	C	C	P	C	NP
Restaurants	P	P	P	P	P
Fast Food/Drive-thru Restaurants	NP	NP	NP	NP	NP
Outdoor Patio Seating or Dining	P	P	P	P	P
EDUCATIONAL USES					
Colleges and Continuing Education Facilities	NP	NP	C	C	NP
Cultural Institutions	P	P	NP	NP	P
Tutoring Facilities/Educational Activity Centers	P	NP	P	P	NP
ENTERTAINMENT USES					
Bar/Night Club/Live Entertainment	C	NP	C	C	NP
Conference Facilities	NP	NP	NP	C	C
Commercial Recreation Facilities	C	NP	P	NP	NP
Fitness Studios	C	C	C	C	NP
Hookah/Cigar Lounge	P	NP	P	NP	NP

Table 2.1:
Permitted
Uses by Land
Use District

Section 2
Land Use Districts

Table 2.1: Permitted Uses by Land Use District	Permitted Uses by District				
	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Permitted Uses Key: C – Conditionally Permitted P – Permitted Use 2nd – Permitted Use on Second Floor or above NP – Use Not Permitted T – Temporary Use A – Accessory Use					
FINANCIAL AND PROFESSIONAL OFFICE USES					
Financial Services/Banks/Credit Unions	P	P	P	P	P
Laboratories	NP	NP	2nd	P	NP
Office, Business and Professional	2nd	2nd	2nd	P	P
Office, Medical and Dental	2nd	2nd	2nd	P	NP
Research and Development	NP	NP	NP	P	NP
PUBLIC/INSTITUTIONAL USES					
Government Facilities	NP	NP	P	NP	P
Open Space	P	P	P	P	P
Parks and Recreational Facilities	P	P	P	P	P
Public Utilities	NP	NP	NP	NP	P
Transit Centers (City-owned and operated)	P	NP	NP	NP	P
RESIDENTIAL USES					
Apartments	2nd	P	2nd	P	NP
Condominiums	2nd	P	2nd	P	NP
Courtyard Housing	NP	P	NP	P	NP
Daycare Homes (Large, 9 to 14 children) ¹	C	C	C	C	NP
Daycare Homes (Small, 8 or fewer children)	P	P	P	P	NP
Duplex Dwelling Units	NP	P	NP	NP	NP
Live/Work Units	P	P	P	P	NP
Residential Care Facilities (Small, 6 or fewer)	P	P	P	P	NP
Single-Family Dwelling Units (detached)	NP	P	NP	NP	NP
Townhomes	NP	P	NP	P	NP

¹ Large Daycare Homes are subject to additional development standards and regulations as identified in the Downey Municipal Code Section 9814.

Table 2.1: Permitted Uses by Land Use District	Permitted Uses by District				
	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Permitted Uses Key: C – Conditionally Permitted P – Permitted Use 2nd – Permitted Use on Second Floor or above NP – Use Not Permitted T – Temporary Use A – Accessory Use					
Home Occupations ²	P	P	P	P	NP
RETAIL COMMERCIAL USES					
Alcoholic Beverage Sales, off-premises	C	C	C	C	NP
Animal Sales/Feed and Supplies/Pet Stores	P	P	P	NP	NP
Antique and Collectible Stores	P	NP	NP	NP	NP
Art Galleries	P	P	P	P	P
Banquet Facility	NP	NP	C	C	NP
Bicycle Sales and Repair Shops	P	NP	P	NP	NP
Bookstores (New and used)	P	P	P	P	NP
Drug Stores/Pharmacies	P	P	P	P	NP
Florist Shops	P	P	P	P	NP
General Retail/Specialized Retail (New)	P	P	P	P	NP
General Retail/Specialized Retail (Used)	C	NP	C	C	NP
Grocery Stores (Less than 10,000 sq ft)	P	P	P	P	NP
Grocery Stores (Greater than 10,000 sq ft)	NP	NP	P	NP	NP
Hardware/Home Improvement Stores	P	NP	P	NP	NP
Jewelry Stores	P	NP	P	NP	NP
Nurseries and Garden Supply Stores	NP	NP	C	NP	NP
SERVICE COMMERCIAL USES					
Animal Boarding Facilities/Doggie Daycare	NP	NP	C	NP	NP
Animal Grooming	P	P	P	NP	NP
Cyber Cafes	P	P	P	NP	NP
Day Care Centers (Adult)	NP	C	NP	C	NP
Dry Cleaning and Laundry Services	P	P	P	NP	NP

² Home Occupations are subject to additional development standards and regulations as identified in the Downey Municipal Code Section 9408.

Table 2.1: Permitted Uses by Land Use District	Permitted Uses by District				
	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Permitted Uses Key: C – Conditionally Permitted P – Permitted Use 2nd – Permitted Use on Second Floor or above NP – Use Not Permitted T – Temporary Use A – Accessory Use					
General Commercial Services	P	P	P	P	NP
Hotels (less than 30 rooms)	C	C	C	C	NP
Hotels (more than 30 rooms)	NP	NP	C	NP	NP
Motels	NP	NP	NP	NP	NP
Mail and Shipping Services/Post Box Rentals	P	P	P	P	NP
Personal Improvement Services	P	NP	P	P	NP
Personal Services	P	P	P	P	NP
Printing and Photocopy Services	P	P	P	P	NP
Tailor Services/Shoe Repair Shops	P	P	P	NP	NP
Travel Agencies	P	P	P	P	NP
Veterinary Offices	NP	NP	C	C	NP
TEMPORARY USES					
Arts and Crafts Fairs	T	NP	NP	NP	NP
Farmers' Markets ³	T	NP	NP	NP	NP
Fireworks Stands	NP	NP	T	NP	NP
Swap Meets/Flea Markets	T	NP	NP	NP	NP
ACCESSORY USES					
Kiosks (Permanent and Temporary)	C	NP	C	C	C
Newsstands	A	A	NP	NP	NP

³ Farmer's Markets are subject to additional development standards and regulations as identified in the Downey Municipal Code Section 9420.16.

2.4 Uses with Special Regulations

2.4.1 Live/Work Units

Live/work units are a modern version of the traditional downtown living arrangement in which shopkeepers operated their businesses on the lower levels of a building while living in apartments above. As the cost of commuting increases, both monetarily and environmentally, more residents may consider a live/work unit a viable option allowing them to work and live in the same location. Live/work units vary from traditional home occupations, in which someone works out of their house or apartment, in that a live/work unit has a portion of the unit allocated for living and a separate portion in which to operate a business such as an office, gallery or studio that is accessible to the public like a commercial use. A typical example of a live/work unit includes an office or studio space on the ground floor with a small living space in an upstairs or back portion of the unit.

2.4.1.A Uses permitted in live/work units:

- ▶ Art studios, graphic design studios, and galleries;
- ▶ Professional and administrative offices;
- ▶ Business services, such as, but not limited to accounting, bookkeeping, advertising and public relations agencies, commercial photography, word processing, web site publishing, travel agencies, and party and event planning;
- ▶ Financial services, including credit reporting and collection services, escrow services, financial planning and investment services, mortgage brokers and similar uses, but excluding check cashing and payday loan businesses;
- ▶ Insurance agents and brokers, real estate agents and brokers, title services;
- ▶ Personal services, including individual and family counseling, group counseling, academic counseling, one-on-one tutoring or other similar services;
- ▶ Limited retail uses such as art galleries, interior design studios, specialty antiques or collectibles dealers, tailor, dressmaker, specialty clothing, jewelry or millinery design studio, catering (preparation for off-site consumption only), and other similar services; and
- ▶ Beauticians and barbers, limited to one chair.

2.4.1.B The following uses are prohibited in live/work units:

- ▶ Secondary living quarters (designated ground floor work space shall not be converted into living quarters);

- ▶ Secondary work space (designated above ground floor living quarters shall not be converted into additional work space);
- ▶ Medical offices or practices;
- ▶ Food services for on-site consumption;
- ▶ Child day care facilities;
- ▶ Adult businesses;
- ▶ Motor vehicle maintenance or repair;
- ▶ Welding and/or machining;
- ▶ Dry cleaning; and/or
- ▶ Other similar uses as determined by the City Planner as prohibited, other than those identified as permitted.

2.4.1.C Standards for Live/Work Units

- ▶ Live/work units may not be converted to exclusive residential uses nor may the portion of a live/work unit devoted to residential space be increased.
- ▶ It is not intended that the residential component become the primary or dominant use of the building. Residential uses are permitted only in combination with work space in a manner that provides an integrated working and living environment.
- ▶ Each live/work unit shall be a minimum 1,000 square feet in size.
- ▶ Two exits shall be provided for in each live/work unit.
- ▶ Living and working spaces shall not be sold or rented separately.
- ▶ Internal connection between living and working portions of the unit is required.
- ▶ Client and customer visits are permitted.
- ▶ The residential component of each live/work unit shall meet the following standards:
 - ▷ The residential portion shall be a minimum 400 square feet in size.
 - ▷ No more than 40 percent of an individual live/work unit shall be used or arranged for residential purposes such as a sleeping area, kitchen, bathroom and closet space.
 - ▷ Separate kitchen facilities including a kitchen sink, cooking appliances, and refrigerator shall be provided.
 - ▷ A separate bathroom/sanitation facilities including a toilet, lavatory, shower, and/or bathtub shall be provided.
- ▶ The non-residential component of each live/work unit shall meet the following standards:
 - ▷ A separate entrance is required.

- ▶ A business registration certificate shall be obtained.
- ▶ Live/work businesses are subject to limited hours of operation from 7:00 AM to 9:00 PM Sunday through Thursday and until 11:00 pm on Friday and Saturday nights.
- ▶ Disabled Access shall be provided in compliance with Title 24 of the California Code of Regulations.
- ▶ Noise Regulations.
 - ▶ Residential units shall be constructed so that interior noise levels do not exceed forty-five (45) dB(A) CNEL in any habitable room.
 - ▶ Commercial uses shall be designed and operated, and hours of operation limited where appropriate, so that neighboring residents are not exposed to offensive noise, especially from traffic or late-night activity. No amplified music shall be audible to neighboring residents.
 - ▶ Common walls between residential and nonresidential uses shall be constructed to minimize the transmission of noise and vibration.

2.4.2 Temporary Uses and Special Events

The Specific Plan allows for and permits opportunities for a variety of temporary uses within the Downtown Core and Firestone Boulevard Gateway Districts. Some of these uses may be associated with the adjoining businesses and/or churches that create activity to encourage pedestrian uses. Temporary uses may include: civic ceremonies, farmers markets, festivals, carnivals with rides, promotional events, live performances, fairs, seasonal events and activities, such as sporting exhibitions, competitions, and other similar activities found in regional indoor and outdoor malls. Temporary uses shall require approval by the City Planner or his/her designee, and a special event permit application shall be submitted no later than thirty (30) days prior to the opening date of the temporary use and/or event. In addition to the standards presented in the City of Downey Municipal Code, temporary uses must comply with the following provisions, as applicable:

- ▶ The period of operation of festivals, carnivals, fairs, expositions, civic ceremonies, promotional events, live performances, lectures, religious assemblies or other similar activities shall not occur more than four (4) times in a calendar year if by the same operator and shall not exceed ten (10) consecutive days in length for any one event. A maximum of twenty (20) event days are allowed for any one operator in a given calendar year.
- ▶ Weekly farmers' markets, flea markets, art walks/sales, or antique sales shall not exceed two (2) days per week

In addition to the large events listed above, the City will also allow for outdoor performers in conjunction with or separate from planned events. The City Planner is responsible for writing and approving findings regarding the location and conditions for performances. Additional information on temporary uses can be found in Section 9424.02 and 9420.08 of the Downey Municipal Code.

2.4.3 Outdoor Vendors/Carts/Kiosks

In an effort to create an atmosphere that encourages pedestrian traffic and invites people to walk between uses, outdoor vendors are permitted as an accessory use throughout the Downtown Core, Firestone Boulevard Gateway and the Civic Center Districts. While the vendors' carts or kiosks may appear to be temporary in nature, they shall be designed to complement the architectural style of the other buildings in the Downtown Core and be integrated into the overall design to provide for easy pedestrian access. All vendors/carts/kiosks require a Conditional Use Permit in order to operate. The size and location of vendor carts shall be limited to ensure that each is oriented to the pedestrian and not the surrounding streets and to provide for adequate pedestrian circulation around the use. Additional information and standards not addressed in the Specific Plan can be found in Section 6545 of the City of Downey Municipal Code.

2.4.4 Encroachments

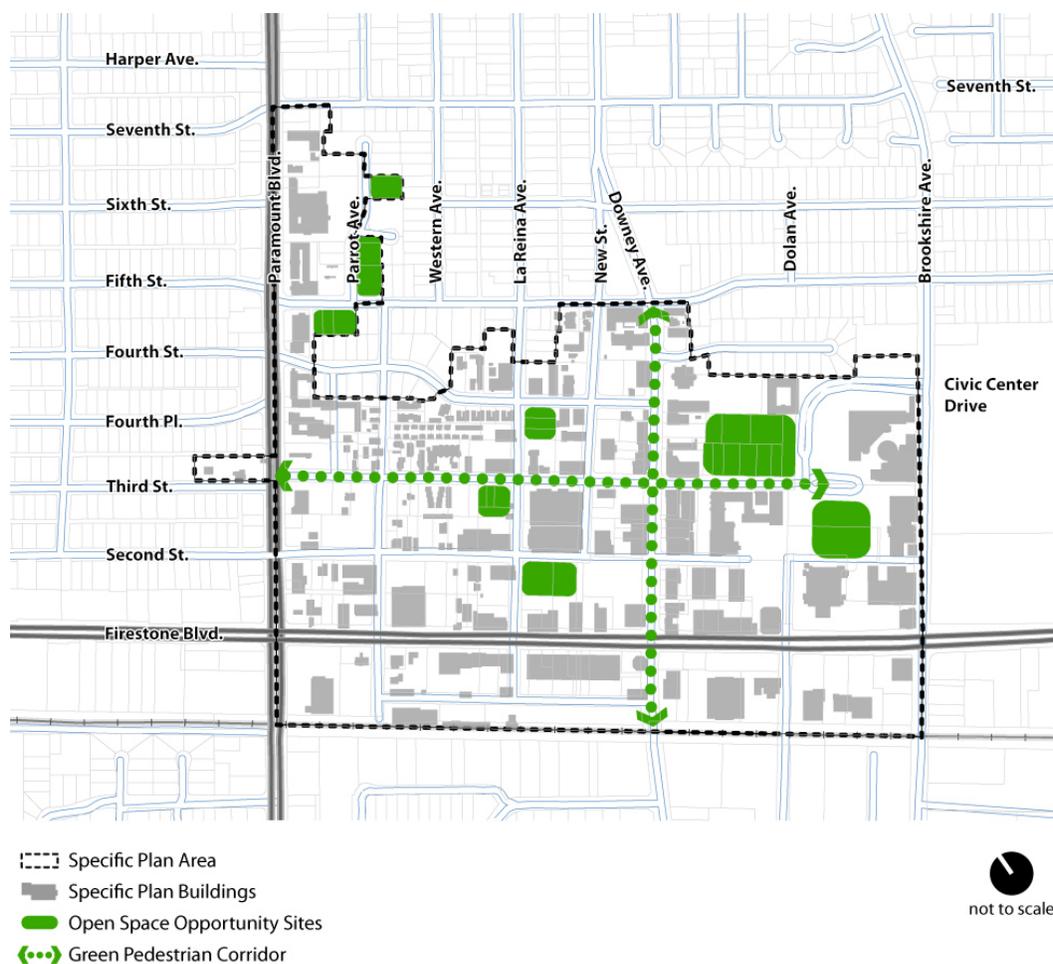
Encroachments are allowed subject to the following criteria:

- ▶ The following architectural elements are allowed to encroach into the required setbacks: awnings, galleries, balconies, blade and/or marquee signs, cornices, eaves, and similar projected elements.
- ▶ Any object encroaching on the public right-of-way should have a minimum height clearance of eight (8) feet, and leave a public passage on the sidewalk of a minimum of five (5) feet.
- ▶ Outdoor dining may be allowed on sidewalks and pedestrian parkways by approval of the City Planner.
- ▶ The serving of alcohol is subject to the relevant regulations of the California Department of Alcohol Beverage Control and in compliance with applicable City ordinances.
- ▶ The property owner/applicant shall indemnify the City of Downey and any officer or from any liability or responsibility for any accident, loss or damage to persons or property happening or occurring as the approximated result of the encroachment and that all of said liabilities are hereby assumed by the applicant. The applicant shall provide a certificate of liability insurance in the amount set by City Planner naming the City of Downey as additionally insured

2.5 Open Space Opportunities

The City of Downey has identified the need for a comprehensive open space system in Downtown to provide a variety of outdoor opportunities for residents, workers, and visitors. To meet this need, the Specific Plan identifies areas with potential for conversion from their existing use to green space. Exhibit 2.7 below identifies parcels with potential for conversion from their existing use to a larger Downtown open space or a smaller pocket park.

Exhibit 2.7: Open Space Opportunities Map



Generally, open space opportunity sites identified in Exhibit 2.7 contain surface parking or are underutilized sites with buildings that are vacant or uses not appropriate for Downtown. As new green areas, plazas, and courtyards are established, these open spaces will be compatible and attractive spaces that are a source of pride within the community. A description of different open space opportunities is provided.

Exhibit 2.7 Open Space Opportunities Map

Section 2 Land Use Districts

2.5.1 Large Civic Open Space

Downtown Downey is in need of an outdoor “living room” that can accommodate a variety of outdoor activities for residents of all ages. Ideally this space will consist of a combination of a large green area, an amphitheater, and a plaza to accommodate family events year round in the eastern portion of the Specific Plan area near City Hall. The Civic Center District is an ideal location for a civic park to host citywide gatherings and festivals.

Image: A large civic park should be created to host citywide events.



2.5.2 Pocket Parks and Small Open Space Areas

The Specific Plan outlines a variety of smaller open space opportunities for Downtown, including pocket parks, plaza areas, courtyards, and fountains on portions of blocks to supplement a larger green space area. Exhibit 2.7 offers several potential locations in the center of the Specific Plan area for small open space areas that offer residents and employees a space to relax, eat lunch, or to walk around in Downtown. These spaces will provide visual relief for pedestrians walking through Downtown and reinforce the Park-Once strategy.



These smaller open space areas are crucial to meeting the recreational needs of the residents living in the Downtown Residential and Downtown Core Districts and

are also popular with families wanting to enjoy an evening outside in Downtown, where children can safely run around.

2.5.3 Parkways and Green Streets

The pedestrian experience should be enhanced through the creation of green, tree-lined corridors and pocket parks along major roadways. Adding a variety of street trees and other greenery along major corridors such as Third Street identifies the Downtown streets as essential elements of the open space system and as tree-lined open spaces and continuous recreational paths.

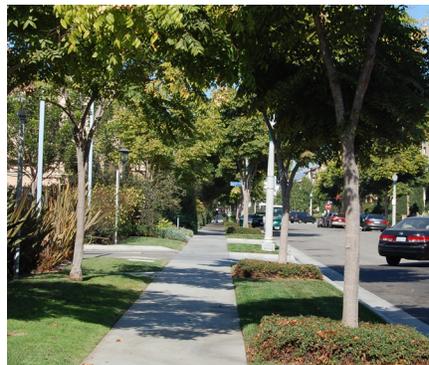


Image: Green parkways with shade trees will enhance the pedestrian experience in Downtown and encourage walking.

2.5.4 Parkland Acquisition Program

The City will establish a Parkland Acquisition Program to assemble spaces to establish multiple open space areas throughout Downtown. This program will utilize various techniques to acquire land to improve the area as a whole. Ideally, a large civic park with a large green space as well as a plaza/amphitheater area will be created near City Hall that is able to host citywide events as well as smaller pocket parks and plazas all connected by parkways. The Parkland Acquisition Program will allow developers to develop higher density and intensity projects while requiring that each development contribute an in lieu fee to the City to finance larger central public spaces.



Image: Open space areas should provide activities for residents of all ages.



3

Urban Design Standards and Guidelines

City of Downey

Downtown Specific Plan



3. Urban Design Standards and Guidelines

3.1 Introduction



Image: The implementation of the urban design standards and guidelines will result in a built environment that creates human-scale architecture, new infill that harmoniously mixes old and new buildings, a vibrant streetscape, and an enjoyable pedestrian experience.

3.1.1 Why Urban Design Standards and Guidelines?

Downtown Downey is a landmark suburban center that, with care, will evolve into a vibrant and active pedestrian-oriented town center. The design standards and guidelines of this Plan direct that the reuse of existing buildings and new infill development reflect the values of local residents and stakeholders. These values include: a family-oriented, safe, walkable, and attractive environment that includes a mix of new, old, and human-scale commercial, residential, and mixed-use projects, and new open spaces, green streets, and landscape that Downey residents, Downtown shoppers, and visitors to this City all enjoy.

3.1.2 Projects subject to the Downtown Downey Urban Design Standards and Guidelines

All repair, alteration, addition, construction, and development projects within the Downtown Specific Plan area, as shown in Exhibit 1.2, are subject to the standards and guidelines of this Plan, with the exception of projects that include 1) maintenance work that does not include structural alterations other than those

required by law or those required to make the structure and use conform to the standards and use regulations of the zoning district in which such use, building or structure are located and 2) ordinary repairs and the repair or replacement of nonbearing walls (exclusive of storefront), fixtures, wiring, and plumbing that does not exceed ten (10) percent of the current replacement cost of the building or structure within a period of twenty-four (24) consecutive months.

3.1.3 Use of the Urban Design Standards and Guidelines

The Downtown Downey Specific Plan design standards and guidelines shall be used by landowners, developers, tenants, and their consultants, such as architects, who propose any, alteration, addition, construction, and/or development projects within the Downtown Specific Plan area. City staff shall use this Plan to review projects for 1) compliance with the design standards, and 2) compliance with the intent of the design guidelines. Individuals and entities proposing projects within the Downtown Specific Plan area should review and understand these standards and guidelines before initiating the design and development process. To facilitate project approvals, questions regarding the design standards and guidelines, as well as other development-related questions, shall be discussed with the City Planner or designee as early in the development process as possible.

Individuals and entities proposing projects shall use these design standards and guidelines at each project stage to shape concepts and designs to realize compatible architecture and urban design that meets City of Downey requirements and expectations. City staff and others use these standards and guidelines to understand proposed projects in relationship to approved objectives, goals, standards, and guidelines.



Image: This three-story mixed-use development creates an active sidewalk at ground level and retail with overlooking residential uses on upper stories.

3.2 Established Conditions and Urban Design Opportunities



Image: The existing small town main street scale and design features unique to Downtown Downey should be preserved and used as a base for future development decisions.

There are many existing urban design features in Downtown Downey that provide a foundation to establish a successful and pedestrian downtown. The grid street pattern creates short blocks that encourage pedestrian movement. Buildings front immediately upon the sidewalk, providing storefronts that generate pedestrian interest. Additionally, the City's original suburban-scale remains intact and should be preserved and utilized as a foundation for future development decisions.

At the turn of the 21st century, the City of Downey initiated downtown streetscape improvements, starting along Downey Avenue. The new sidewalks, shade trees, and street furniture – public realm enhancements – encourage gathering, strolling, and shopping. However, additional public realm treatments and greater attention to the private structures and spaces are needed to create a vibrant environment that welcomes the surrounding community. Future initiatives should:



1. Improve the gateway identity of Firestone Boulevard: Street trees, medians, parkways, pedestrian lighting, and improved crosswalks should be added along the street to increase safety and promote character. Additionally, increasing the scale of structures along this street will distinguish Downtown from surrounding neighborhoods, introduce Downtown as a unique center, and establish a needed outdoor gathering space along this important street that invites activity.



2. Create a primary east-west pedestrian street: Improving Third Street as a pedestrian-oriented complement to Downey Avenue will better connect the latter to the movie theaters, link the Civic Center to the Rives Mansion, and highlight Downey Avenue and Third Street as gathering place for the community.



3. Create well-landscaped community gathering spaces: Replacing vacant lots and surface parking with on-site open space including courtyards, pocket parks, and public greens will increase the sense of place and attractiveness of Downtown.



4. Increase transit connectivity: Relocating Downey Depot from south of Firestone Boulevard to a central and more accessible location in Downtown will increase access and connectivity to dining, shopping, and residences within Downtown Downey.



5. Conserve the legacy scale and encourage new infill construction: New infill construction that blends with existing older structures and provides space for a variety of business types in the downtown should be encouraged.



6. Emphasize sidewalk vitality with each new building: Buildings in Downtown Downey should build upon legacy-scale built-form patterns and incorporate sidewalk-hugging facades featuring storefronts that invite sidewalk activity. To further incorporate the new with the old, infill construction and repair projects should relate to the existing one- and two-story scale.

3.3 Downtown Downey Urban Design Vision and Principles

The following vision, design standards and guidelines of this Plan build upon these observations and consequent design opportunities.

3.3.1 Urban Design Vision



Image: Greening of Third Street between the Civic Center and the Rives Mansion, with complementary residential-over-retail mixed-use infill projects, will extend downtown activities east and west and create a new public realm amenity that complements Downey Avenue.

The design standards and guidelines of this plan encourage continuity from the past to the future. Downtown identity is introduced along Firestone Boulevard in the form of enhanced medians and crosswalks and more street trees. Four-, five-, and six-story commercial structures along this street incorporate landscape setbacks and stepbacks, and bring more people to the area on a daily basis to patronize local businesses. Professional services cluster along Paramount Boulevard in lower buildings, reinforcing the character of this downtown edge. Two- and three-story tall sidewalk-oriented buildings with well-detailed storefronts are interspersed amidst Downey's older core architecture, fostering an outdoor "Main Street" scale that encourages exploration throughout the Downtown. Linking Downtown east and west, and complementing Downey Avenue's north-south emphasis, Third Street is reconceived as a complete green street, connecting the Civic Center to the Rives Mansion and establishing a place for outdoor festivals, farmers markets, concerts, and strolling. Along this street, mixed-use buildings, with residential over retail, extend the town-scale of Downey Avenue throughout the center.

Residents and employees living and/or working in and around the core enjoy easy access to and from Downtown. Many ride their bicycles into the heart of Downtown along New Street. Others make connections along the Second Street transitway, hopping on and off local and regional buses. Patrons "park once" in

garages scattered throughout the area, then walk and enjoy the town throughout the day and into the evening.

This urban design vision mingles the new with the old. The standards and guidelines that result from this vision encourage human-scale buildings and places, facilitate the greening of Downtown, establish the basis for an enhanced public realm, and ensure that sidewalks and storefronts are interesting and vital. First and foremost, this vision builds upon and seeks to enhance the legacy of Downey's existing small town feel - and propel it into an even more vital 21st Century.

3.4 Urban Design Principles

The design standards and guidelines for Downtown Downey are guided by the following principles:

Image (top): Wide sidewalks with landscaped bulb-outs and transparent storefronts at the back of sidewalks invite pedestrian activity.

Image (middle): New storefronts revitalize older structures for new use.

Image (bottom): Infill architecture fits the existing town scale relating rooflines and proportions to older structures.



1. Architecturally each new project should facilitate a pedestrian-oriented, ground-related, live and work, walk-to-work, and sustainable Downtown Downey: design standards and guidelines direct property owners, developers, and individuals to contribute architecture that creates a sidewalk-oriented and mixed-use town center.

2. Develop and revitalize with both new and old architecture: design standards and guidelines encourage both the realization of new infill buildings and the reuse and revitalization of older structures.

3. Relate overall building scale to Downey's legacy townscape: design standards and guidelines advance new structures that acknowledge through setbacks, step-backs, and building detail, the one- and two-story legacy and scale of Downey's downtown.



4. Promote public and private greening with each project: design standards and guidelines encourage the creation of on-site landscaped open spaces such as courtyards, the greening of sidewalks, and the introduction of new open spaces.

Image (top): Lush residential gardens enhance residential common spaces.

Image (middle): Wide and transparent openings merge sidewalk areas and store interiors into one inviting space.

Image (bottom): A variety of architectural details contribute to a building that incorporates human scale.



5. Relate and link new architecture directly to sidewalks and right-of-ways: design standards and guidelines promote buildings that create street facades and architectural interest at sidewalks. Standards and guidelines in particular support sidewalk interest at the first floor of new and renovated buildings through incorporation of well-detailed storefronts, building entries oriented to streets, and transitional spaces between sidewalks and entries such as terraces, landscape buffers, arcades, porches, stoops, recessed entries, and portals to at-grade courtyards.



6. Realize human-scale architectural detail in every project: design standards and guidelines call for incorporation of material expression, detail, human proportion, storefronts, windows, entries, and architectural expression to realize an eclectic and innovative townscape.

3.5 Urban Design Quick Reference Table

Table 3.1:
Urban
Design Quick
Reference
Table

Design Standards and Guidelines	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Maximum Floor Area Ratio (FAR) (See Section 3.6.1, Exhibit 3.1)	1.5 FAR	1.5 FAR/ maximum 0.5 Commercial FAR	3.0 FAR	2.0 FAR	*
Maximum Height Limit (See Section 3.6.2, Exhibit 3.2)	3 stories/ 45 ft	4 stories/50 ft	6 stories/75 ft	4 stories/50 ft	*
Minimum/Maximum Density	20-40 du/ac	8-40 du/ac	40-75 du/ac	20-40 du/ac	*
Minimum Unit Sizes	One bedroom - 600 square feet Two bedroom - 800 square feet Three bedroom - 1,000 square feet				*
Required Step-backs (Section 3.6.3, Exhibit 3.5)	Min. 12 feet above 25 feet along Downey Ave.	N/A	Min. 12 feet above 45 feet along Firestone Blvd.	N/A	*
Maximum Lot Coverage (Section 3.6.4, Exhibit 3.7)	80%-100% Commercial and Mixed- Use/ 60% if Residential Only	Lot Coverage Varies - See Exhibit 3.7	100%	80% Commercial and Mixed- Use/ 60% if Residential Only	*
Maximum Ground-Floor Area (Section 3.6.5)	Maximum 20,000 SF per building; No Limitation in the Firestone Boulevard Gateway				*
Building Setback Standards	Varies by Street - See Exhibit 3.10 and Section 3.6.6.				*
Building Separation	Not required				*
Parkway Requirement	Varies by Street - See Section 3.6.7.A and Exhibit 3.11.				*
Landscape Requirements	Varies based on setback and building-line requirements - See Section 3.6.8				*
Facade Modulation	Varies based on setback requirements of Exhibit 3.10. See Section 3.6.10.A, B, and C, for types of modulation that qualify				*
Façade Depth	Minimum 4-inch depth from the building plane and face at street or sidewalk-facing facades. See Section 3.6.11.E.				*
Ground-related Entry Frequency	Varies based on building-line requirements of Exhibit 3.10. See Section 3.6.10.F.				*
Ground-related Entry In Relationship to Grade	Varies based on setback requirements. See Section 3.6.10.F and Exhibit 3.17.				*
Ground-floor Minimum Clear Height	Varies by first-floor use - See Section 3.6.10G				*
Storefront Requirements	Varies- See Section 3.6.11 and Exhibits 3.19 and 3.20.				*
Typical Depth	40-feet minimum				*

Section 3
Design Standards and Guidelines

Design Standards and Guidelines	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Min. Typical Façade Height	20 feet minimum				*
Min. Typical Header Height	10 feet minimum from finish grade at sidewalk				*
Primary Entrance	Open during normal business hours				*
Typical Façade Width	Maximum 75 linear feet of sidewalk frontage				*
Typical Bay Width	Where 18-inch building line is required per Exhibit 3.10, maximum 25 linear feet of bay width				*
Typical Bay Proportions	Maximum ratio of 1.5 feet of width for each 1 foot of height				*
Typical Glazing Area	Minimum 60% of bay				*
Typical Sill Height	Maximum 3 feet above the adjacent sidewalk				*
Outdoor Dining Fence Exemption	With approval of City Planner				*
Awnings and Canopies	Integral with design of storefront bay. See Section 3.6.11.A				*
Glazing	Use of reflected glass is prohibited. Use of tinted glass at ground level is prohibited. See section 3.6.11.B.				*
Security Elements	Located at the interior of ground floor space and not visible from adjacent public right-of-ways and sidewalks when grill is not in an open position. See Section 3.6.11.D. A minimum of 70% transparency is required.				*
Landscaping for Parking Areas	For surface parking lots a minimum of 5 feet landscaped area is required where adjacent to a public sidewalk or street.				
Above-grade Parking Setback	40-foot setback minimum at Downey Ave and Third Ave. See Section 3.6.12.				*
Architecturally Significant Buildings and Storefronts	Maintain, restore, and rehabilitate. See Sections 3.6.13.A,B,C.				*
Site Furniture and Lighting	Varies – See Section 3.8				
Public Art	In-lieu fees required for certain projects. See Section 3.9				*

* As Approved by City Council.

3.6 Urban Design Standards and Guidelines

The urban design guidelines and development standards are typically identified in this Plan by use of the verbs “shall”, or “shall be”, and are design requirements that must be addressed in a project. Guidelines are typically identified in this plan by use of the verbs “should”, or “should be”, and project proponents are strongly encouraged to affirmatively incorporate these ideas in their project designs.

3.6.1 Allowed Floor Area Ratio

In Downtown Downey, floor area ratios for each land use district have been established as shown in Exhibit 3.1. The established floor area ratios are intended to ensure that proposed construction relates to the existing intensity of uses while at the same time allowing for new development that increases activity in each district. The square footage of all buildings and additions on a parcel shall not exceed the allowed floor area ratio (FAR) for the parcel as denoted on Exhibit 3.1. If a parcel straddles two or more floor area ratio designations, development on any segment of the parcel shall not exceed the allowed floor area ratio for that portion of the property.

Image: Floor area ratios along Downey Avenue will remain low to maintain the “Main Street” feel.



Exhibit 3.1: Allowable Floor Area Ratios in Downtown

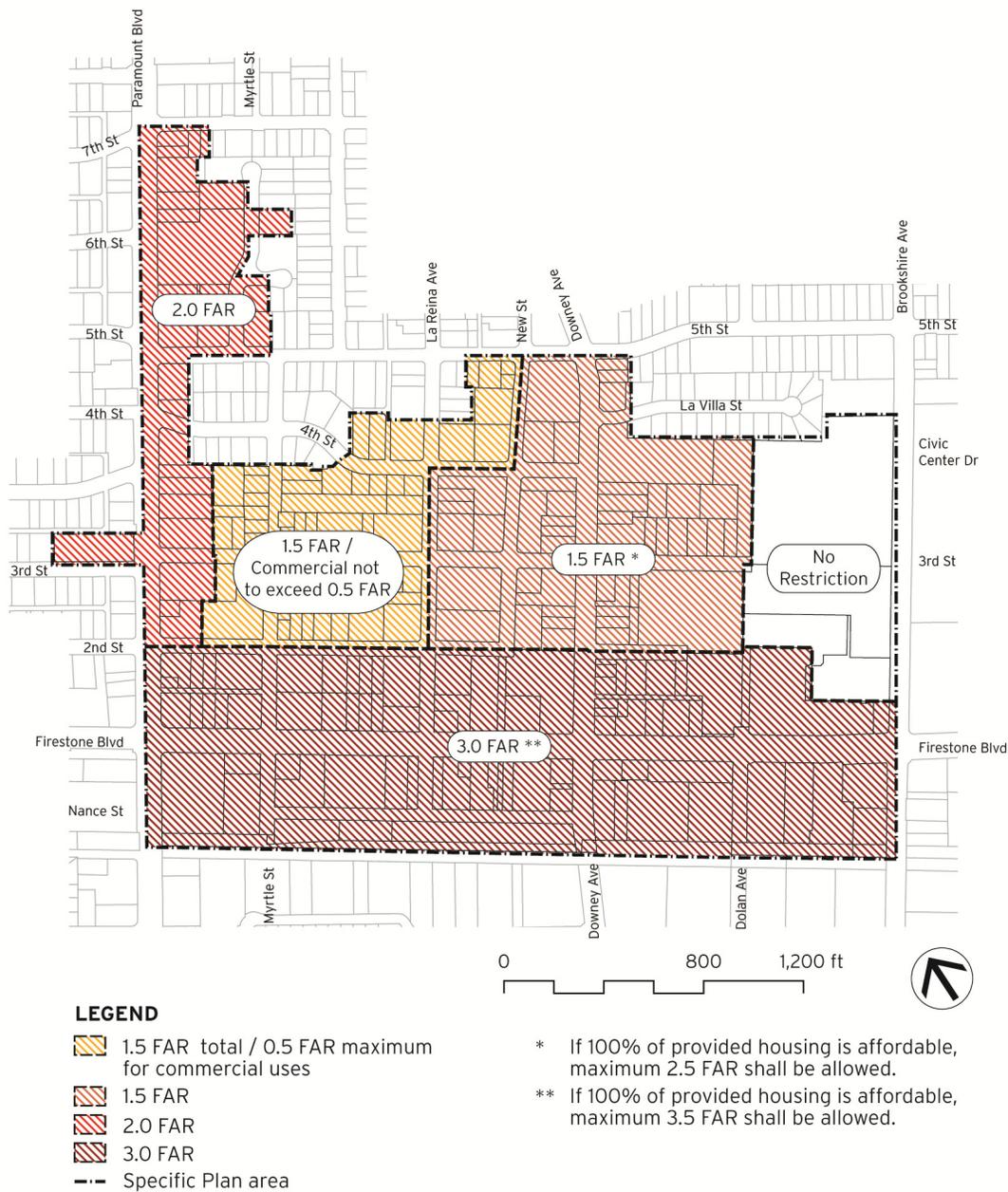


Exhibit 3.1

Allowable Floor Area Ratios in Downtown

Section 3 Design Standards and Guidelines

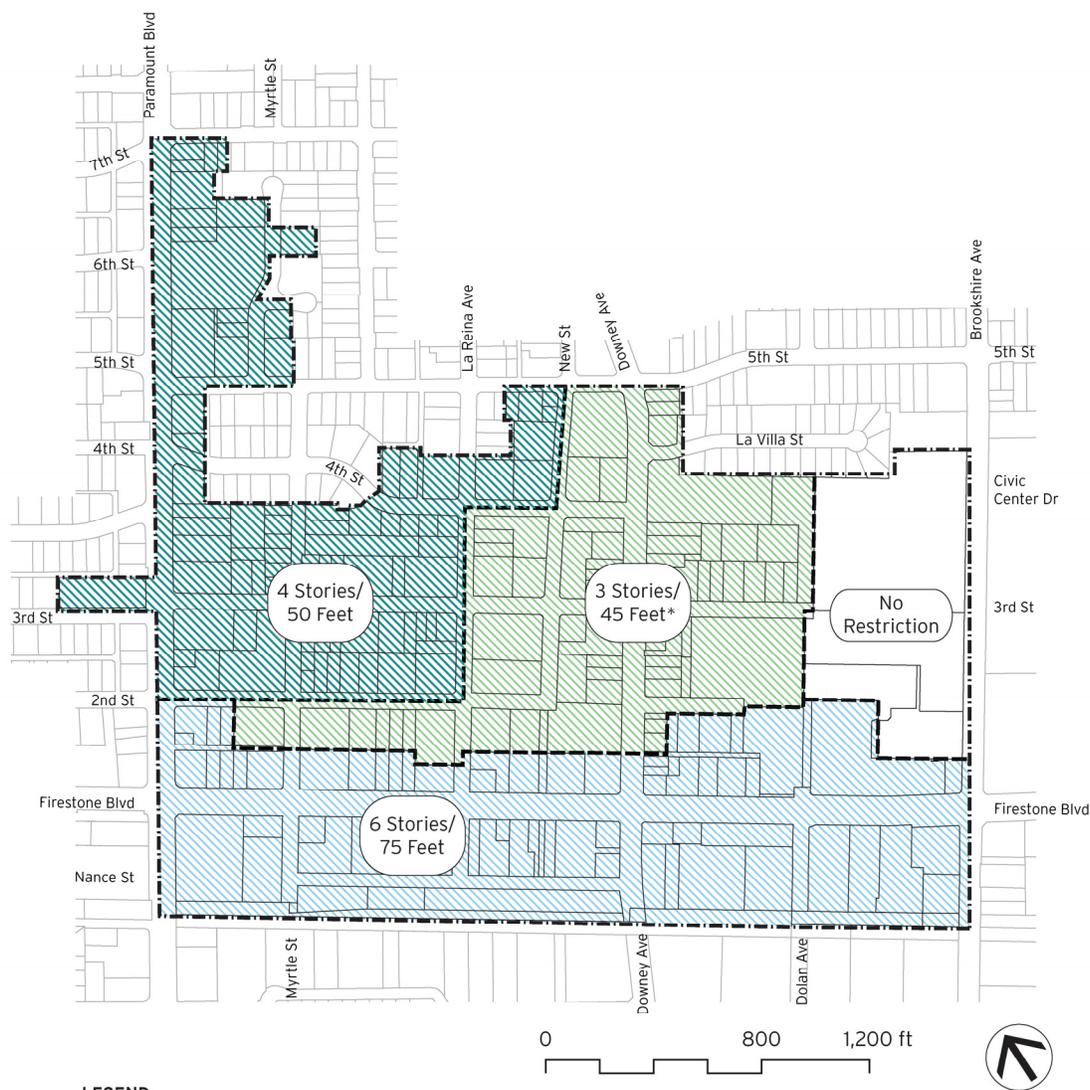
3.6.2 Allowed Height and Number of Stories

Permitted number of stories for buildings and maximum building heights are denoted in Exhibit 3.2. These limits provide for an evolved town-scale of low- to medium-height infill structures. Simultaneously, the height limits allow Firestone Boulevard to be treated as a unique district, distinct from its surrounds with allowances for taller structures.

Image: Building step-backs are used to maintain a one-story scale along the sidewalk.



Exhibit 3.2: Maximum Allowable Heights in Downtown



LEGEND

-  Maximum height 3 stories / 45 feet
-  Maximum height 4 stories / 50 feet
-  Maximum height 6 stories / 75 feet
-  Specific Plan area

* If 100% of provided housing is affordable, a height limit of 4 stories / 50 feet shall apply.

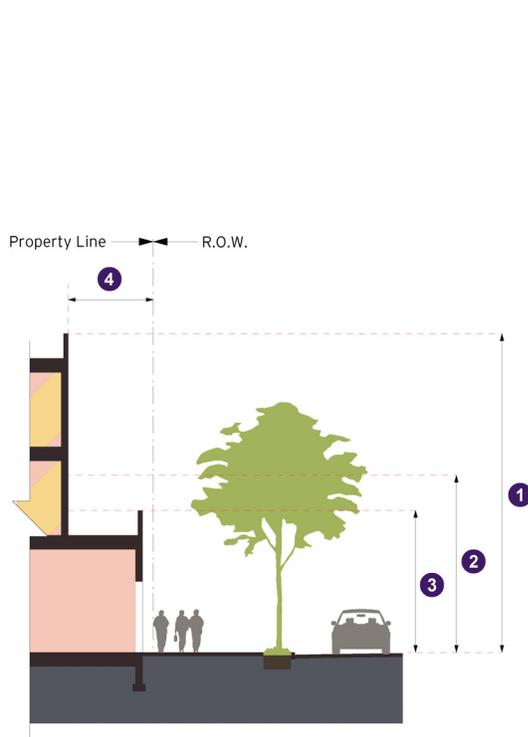
Exhibit 3.2
Maximum Allowable Heights in Downtown
Section 3 Design Standards and Guidelines

3.6.3 Required Step-backs

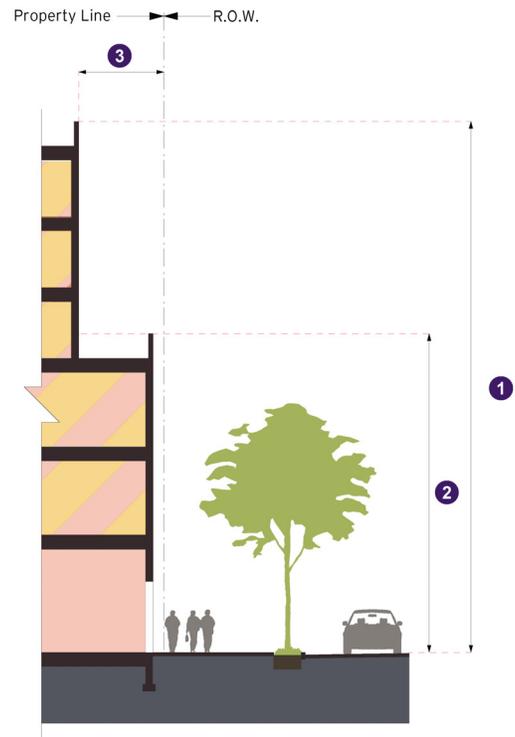
The character of buildings in Downtown Downey forms a comfortable one- and two-story townscape. By incorporating step-backs above designated heights along key streets such as Downey Avenue and Firestone Boulevard, the legacy character of these streets and the area can be maintained. Façade step-backs shall be measured perpendicularly from the property line along right-of-ways and shall be required as shown on Exhibit 3.5.

Exhibit 3.3 (left):
Downey Avenue
step-back
requirement

Exhibit 3.4 (right):
Firestone Avenue
step-back
requirement

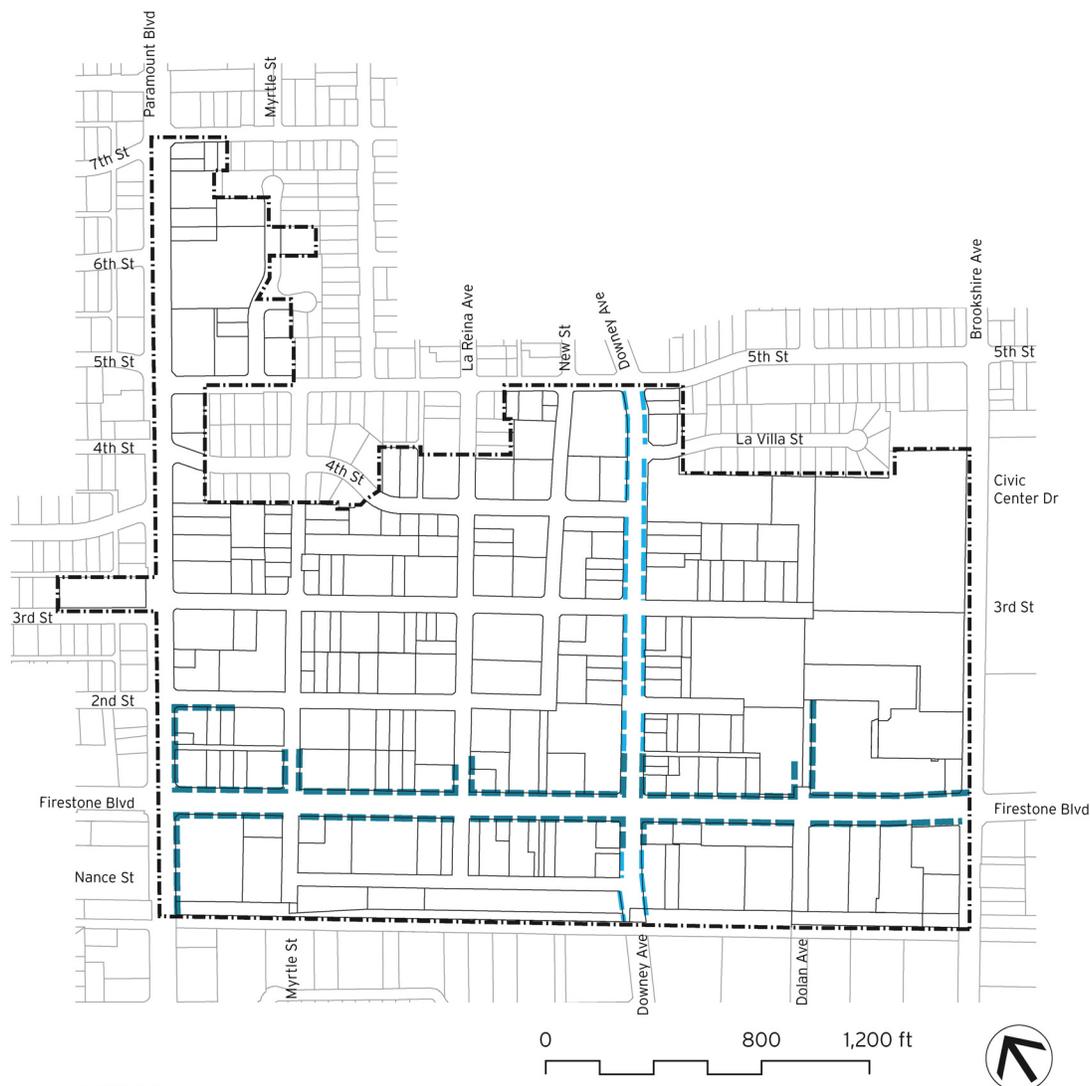


- 1 Maximum building height of 45 feet at Downey Avenue (See Exhibit 3.2)
- 2 Height at which step-back is required (See Exhibit 3.5)
- 3 Minimum facade height at storefront (See Exhibit 3.21)
- 4 Minimum 12-foot step-back (See Exhibit 3.5)



- 1 Maximum building height of 75 feet at Firestone Boulevard (See Exhibit 3.2)
- 2 Height at which step-back is required (See Exhibit 3.5)
- 3 Minimum 12-foot step-back (See Exhibit 3.5)

Exhibit 3.5: Required Step-backs Along Major Downtown Roadways



LEGEND

- Minimum 12-foot stepback from property line above 25 feet in height
- Minimum 12-foot stepback from property line above 45 feet in height
- - - Specific Plan area

Note: Where a building abuts or adjoins an existing residential use or residentially zoned property along its side and/or rear property lines, the building shall step back a minimum of 15 feet from the adjacent side and/or rear property line at a height above 25 feet.

Exhibit 3.5
Required Step-backs Along Major Roadways
Section 3 Design Standards and Guidelines

3.6.4 Allowed Lot Coverage

In Downey, existing one- and two-story commercial structures cover up to one hundred percent of the buildable area of their lot. Residential buildings typically incorporate landscape setbacks and yard areas and the resulting lot coverage is less than that of commercial uses. The following standards and guidelines maintain this built-form pattern. For residential-only projects, the lot coverage requirements assure the provision of open space appropriate for a downtown environment. Exhibit 3.6 illustrates how lot coverage shall be calculated.

DEFINITION: Lot Coverage. The percentage of the lot covered by structures and buildings including accessory buildings exclusive of non-vehicular related inhabited covered areas that are open to the air such as, but not limited to, arcades, colonnades, loggias, accessible recesses, covered entries, and porches.

3.6.4.A Lot Coverage Allowance

The footprint of buildings and additions on a parcel shall not exceed the Downtown lot coverage allowances shown in Exhibit 3.7.

Exhibit 3.6: Lot Coverage Calculation

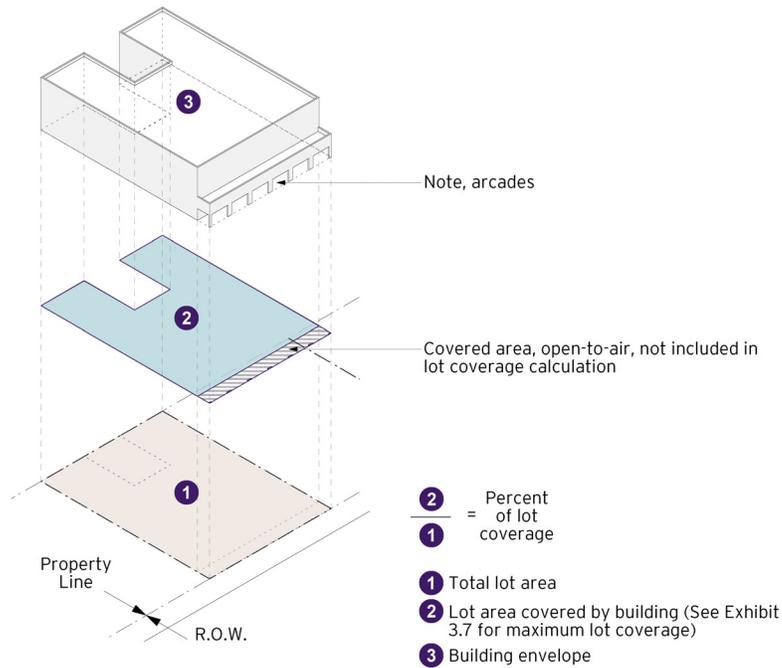


Exhibit 3.7: Maximum Downtown Lot Coverage

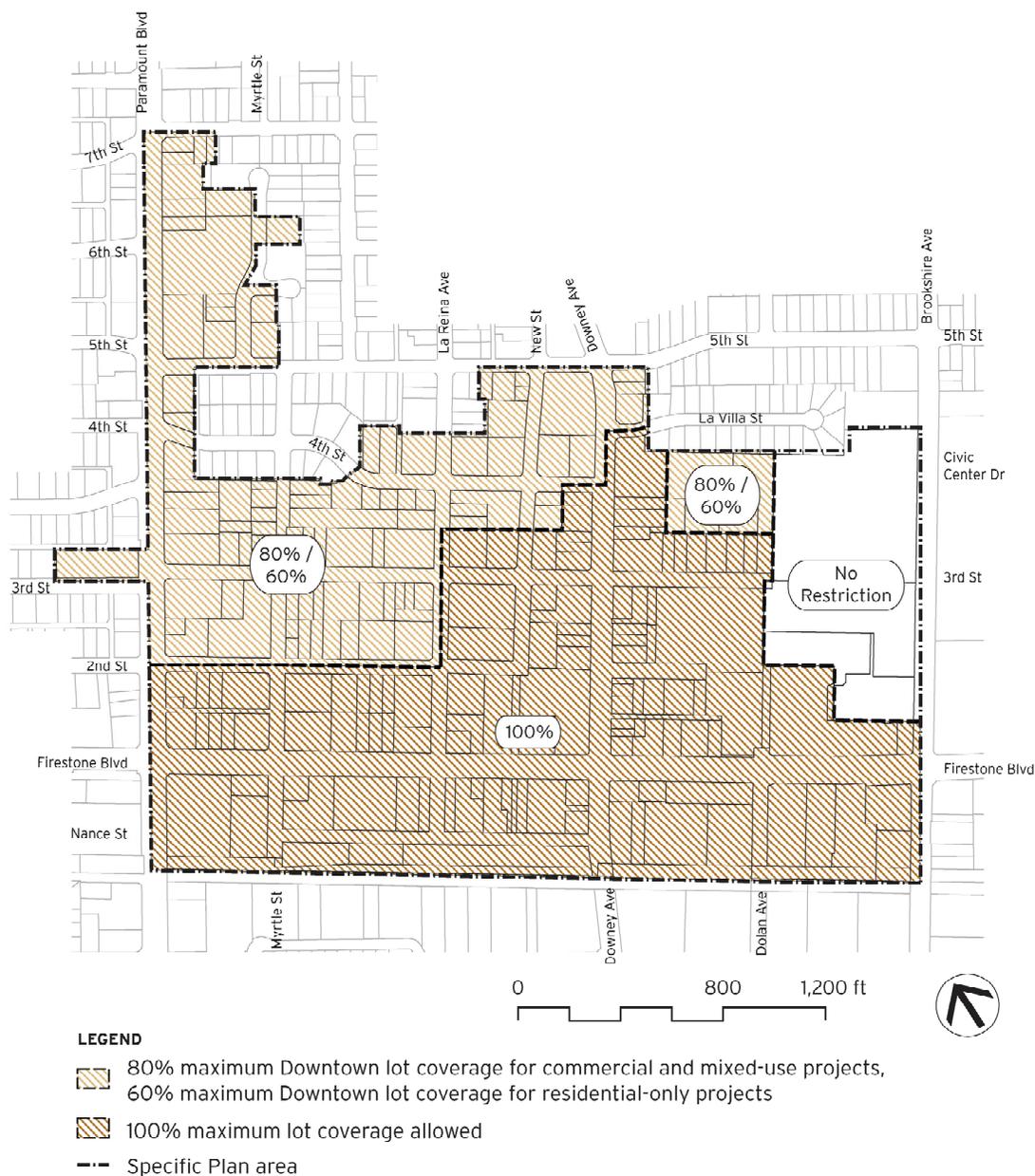


Exhibit 3.7

Maximum Downtown Lot Coverage

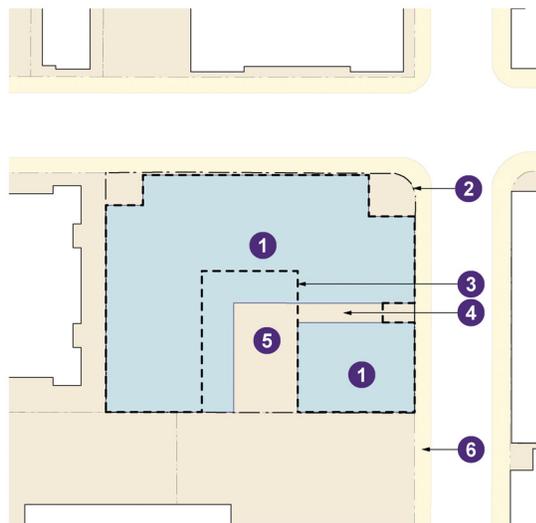
Section 3 Design Standards and Guidelines

3.6.5 Maximum Building Mass

The overall mass of a structure is largely determined by the gross area of the floors. Buildings in Downtown Downey rarely exceed two or three lots lending intimacy to the overall scene. The following standards for building massing provide for floor areas that both relate to the existing scale of structures while providing adequate area for contemporary uses.

With the exception of projects within the Firestone Boulevard Gateway district, the maximum area of the ground floor of an individual building on a lot or parcel shall not exceed 20,000 square feet in size. More than one building on the same lot or parcel is permitted with use of open-to-the-air passages, courtyards, open-to-the-sky open spaces, and party walls with no connections or openings between adjoining buildings (See Exhibit 3.8).

Exhibit 3.8:
Ground-floor
Maximum
Area



- ① Ground-floor maximum area of a building \leq 20,000 SF
- ② Lot area boundary
- ③ Line of building above grade level
- ④ Open-to-air passage
- ⑤ Open-to-sky courtyard
- ⑥ Sidewalk

3.6.6 Setback Standards and Guidelines

Downtown Downey is characterized by commercial structures that squarely face the sidewalk, with street walls built to the sidewalk property line. This approach creates a consistent interaction between storefronts, shop windows, ground floors, and passing pedestrians. Setback standards assist in the maintenance of continuous building façades along streets. To sustain this street wall pattern, the following standards are required.

3.6.6.A Setback Standards

Front and Street Side setbacks of new buildings and additions to existing buildings shall be placed in relationship to property lines and setback requirements as shown and described in Exhibit 3.10.

3.6.6.B Maximum 18-inch Setback Requirements

Where a maximum eighteen (18") inch setback is required the façade of the building, and/or an addition to an existing structure, shall be placed no more than eighteen (18") inches from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 30% of the length of a façade and/or front building plane may be interrupted or set back from the maximum setback requirement to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).

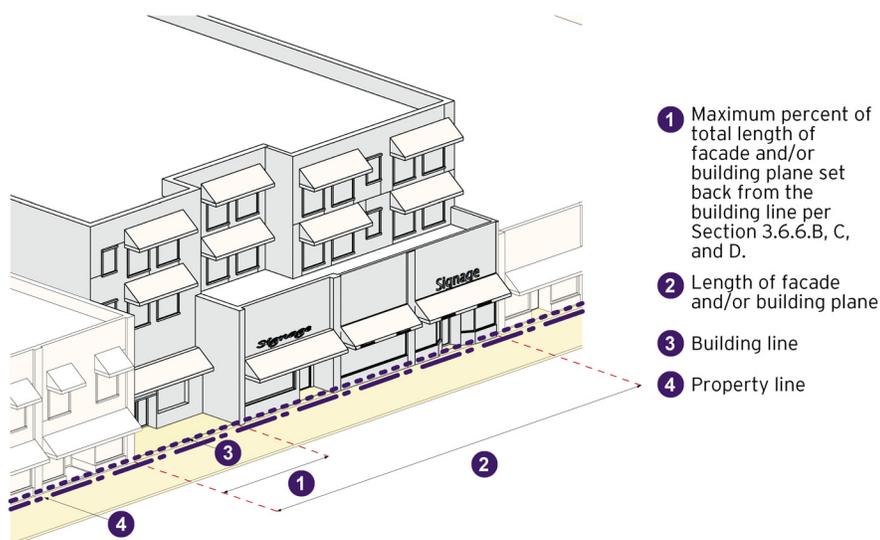


Exhibit 3.9: Front Setback Requirements

3.6.6.C Maximum 5-foot Setback Requirement

Where a maximum five (5') foot setback lines is required for commercial and mixed-use buildings, the façade of the building, and/or an addition to an existing structure, shall be placed no more than five (5') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 50% of the length of a required façade and/or front building plane may be interrupted or set back from the maximum setback line to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).

3.6.6.D Minimum 8-foot Setback Requirement

Where a minimum eight (8') foot setback is required for residential buildings, the façade of the building, and/or an addition to an existing structure, shall be placed at least eight (8') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 50% of the length of a required façade and/or front building plane may be interrupted or set back from the maximum setback line to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).

3.6.6.E Minimum 15-foot Setback Requirement

Where a minimum setback line of fifteen (15') feet is required, the façade of the building, and/or an addition to an existing structure, shall be placed at least fifteen (15') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area.

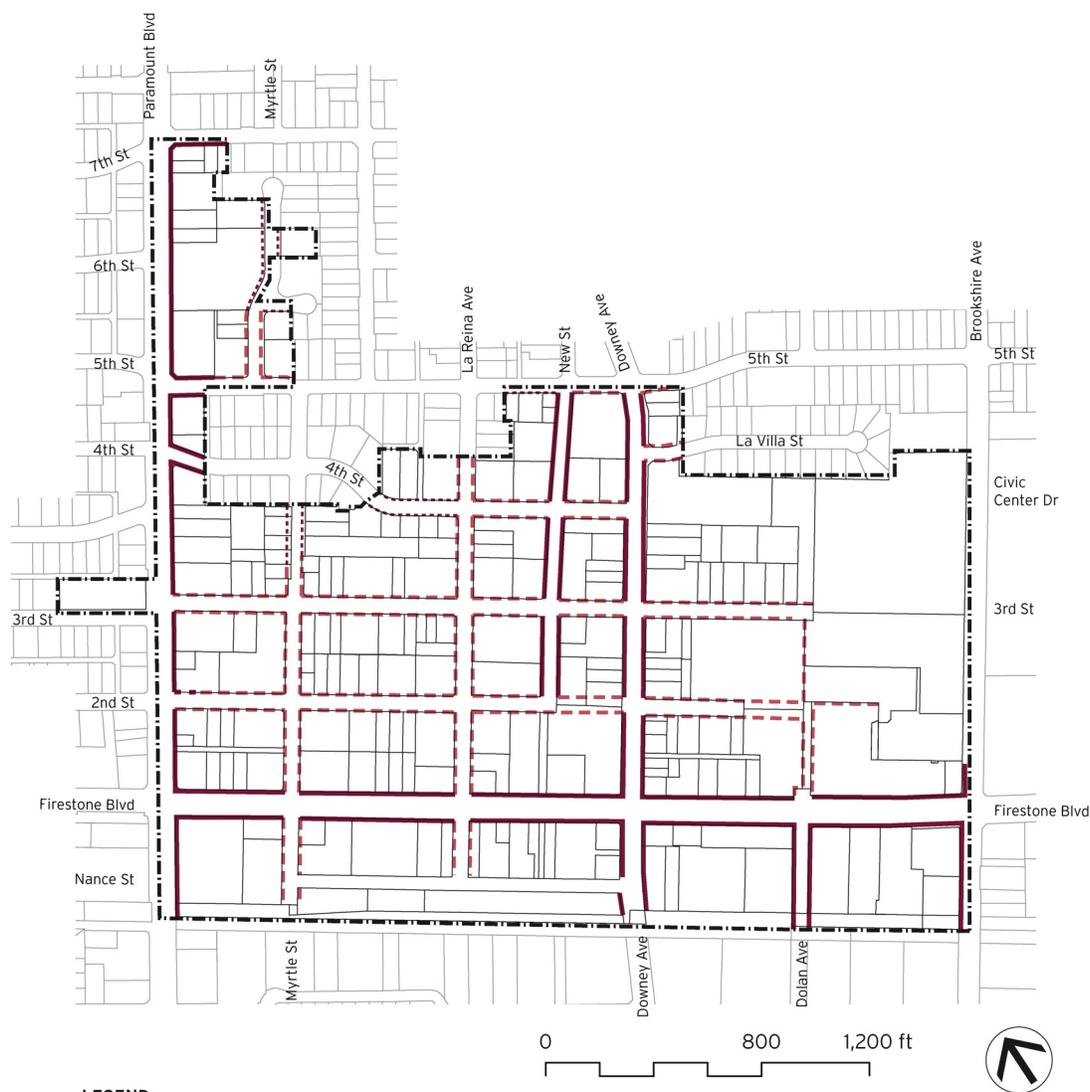
3.6.6.F Property Line Set at Center of Street

Where a property line is set at the center of a public right-of way, and a setback is required as shown on Exhibit 3.10, the required setback shall be measured from the back of sidewalk.

3.6.6.G Side Yard, Rear Yard Setbacks and Step-back Adjacent to Residential Use or Residential Zoned Property

Where a building abuts or adjoins an existing residential use or residentially zoned property along its side and/or rear property lines, the first twenty-five (25') feet in height of a structure shall be set back a minimum of eight (8') feet from the side and/or rear property line. The building shall step back a minimum of fifteen (15') feet from the adjacent side and/or rear property line at a height above twenty-five (25') feet.

Exhibit 3.10: Required Setbacks



LEGEND

- Minimum 0" and maximum 18" setback from property line
- - - Minimum 0' and maximum 5' setback from property line for commercial and mixed-use projects; or minimum 8' setback for residential-only projects
- Minimum 15' setback from property line
- · - · Specific Plan area

Exhibit 3.10
Required Setbacks
Section 3 Design Standards and Guidelines

3.6.7 Open Space and Landscape Improvements

The primary open space in Downtown Downey is the existing network of streets and sidewalks. Improvement of those streetscapes is the most immediate means to realize a green and vital Downtown. In aggregate, well-maintained landscape buffers, open spaces, pocket parks, and plazas should all combine in Downtown to provide a diverse, multi-functional open space network that contributes to the character of Downtown.



The following open space and landscape standards generate a greener downtown public and private-realm environment.

3.6.7.A Landscaped Parkway Requirement

New building projects, and reuse and rehabilitation projects greater than 10,000 square feet in size, shall provide landscaped and irrigated parkways a minimum of thirty (30") inches wide for a minimum of 40% of the building frontage along the curbsides of streets as delineated in Exhibit 3.11. In lieu of landscaped parkways, the City should implement in-lieu parkway fees that contribute to the funding of Downtown parkway improvements.

3.6.7.B Exemption from Open Space Requirements

To create incentives for the realization of a vital mixed-use downtown district within the Downtown Specific Plan area, on-site common and private open space is not required except as defined by the lot coverage requirements in Exhibit 3.7. In lieu of on-site private open space, the City should implement in-lieu open space fees that contribute to the funding of Downtown streetscape and public open space improvements.

Exhibit 3.11: Required Parkways



Exhibit 3.11

Required Parkways

Section 3 Design Standards & Guidelines

3.6.8 Landscape Buffer Requirements

3.6.8.A Planting Area between Back of Sidewalk and Maximum 18-Inch Setback Line

Where a maximum eighteen (18") inch setback line are required, per Exhibit 3.10, the area between the building line and the back of sidewalk should be improved with a combination of softscape and hardscape including but not limited to planting beds and boxes, pavers, low shrubs, planter pots, and other landscape amenities (Exhibit 3.12).

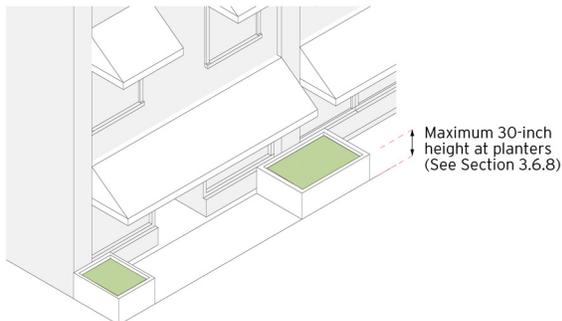
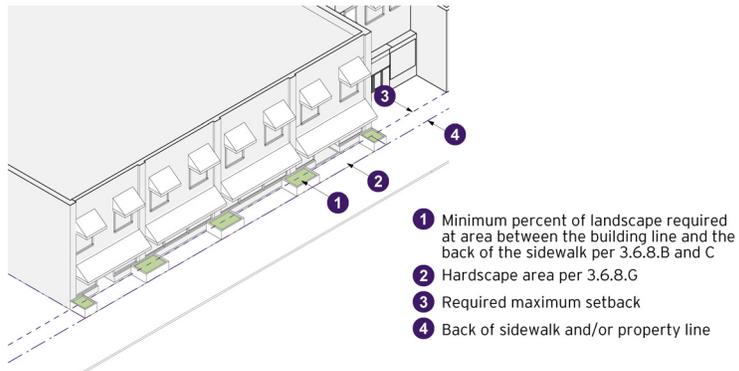
3.6.8.B Planting Area between Back of Sidewalk and Maximum 5-foot and Minimum 8-foot Setback Lines

Where a maximum five (5') foot setback line are required at commercial or mixed-use building and where a minimum eight (8) foot setback line is required at residential-only buildings per Exhibit 3.10, a minimum of 25% of the area between the building line and the back of sidewalk shall have an irrigated planting area as shown in Exhibit 3.12. Planting areas may include raised planter boxes a maximum of thirty (30") inches in height above adjacent sidewalks.

3.6.8.C Planting Area between Back of Sidewalk and Minimum 15-foot Setback Lines

Where a minimum fifteen (15') foot setback line is required, per Exhibit 3.10, a minimum of 60% of the area between the building line and the back of sidewalk shall have an irrigated planting area (See Exhibit 3.12). Planting areas may include raised planter boxes a maximum of thirty (30") inches in height above adjacent sidewalks.

Exhibit 3.12:
Planting Areas
between
Building Lines
and Property
Lines



3.6.8.D Planting Areas within Side Yard Setbacks

Where side yard setbacks between property lines and buildings are required and/or provided per Section 3.6.6.G, a minimum three (3') foot wide planting area shall be provided along at least 60% of the length of the side yard. Planting areas may include raised planter boxes a maximum thirty (30") inches in height above the adjacent grade, as shown in Exhibit 3.12.

3.6.8.E Planting Area within Rear Yard Setbacks

Where rear yard setbacks between property lines and buildings are required and/or provided per Section 3.6.6.G and where the rear yard does not adjoin a right-of-way such as an alley, a minimum three (3') foot wide planting area shall be provided along at least 60% of the length of the rear yard. Planting areas may include raised planter boxes a maximum thirty (30") inches in height above the adjacent grade.

3.6.8.F Required On-site Trees

A minimum of one twenty-four (24") inch box tree with a minimum mature canopy of fifteen (15') feet shall be planted on site for each five hundred (500) square feet of provided ground-level open-to-the-sky open space. Each tree shall have a minimum two (2") inch trunk diameter at time of planting.



3.6.8.G Use of Hardscape

At on-site open space, and areas between the front of buildings and the back of sidewalks, use of pavers, stone, colored concrete, scored concrete, brick and other high-quality materials that are compatible with the building architecture are required. Untreated concrete is not permitted in these areas.



3.6.8.H Visibility To and From On-site Open Space

When on-site open space is provided that is internal to the block or behind the main building mass and volume, visibility to and from this open space to adjacent public sidewalks is encouraged and should take the form of covered passages and/or open-to-the-sky breaks in building massing. Visibility openings to internal courtyards and other such on-site open space should be a minimum of ten (10') feet wide, twelve (12') feet in height, and no more than forty (40') feet in depth.



3.6.9 Architectural Standards and Guidelines

The following architectural standards and guidelines shape the character of new construction and additions, as well as alterations to existing structures. The intent is to emphasize the orientation of architecture to sidewalks and right-of-ways in Downtown, increase the visual interest of buildings, relate new and old construction, and emphasize the incorporation and design of elements that create a sense of human-scale.

3.6.10 Architectural Modulation Standards and Guidelines

Downtown Downey has been developed incrementally; the result is a collection of individual building masses that together create a modulated human-scale townscape. The following architectural modulation standards and guidelines provide that the existing scale of small- and medium-scale structures is reflected in new infill construction and additions.

DEFINITION: Architectural Modulation

Adjustment and/or variation of proportion, scale, detail, and/or change in expression of architectural components, elements, and design to realize architectural variety and enhanced complexity of design expression

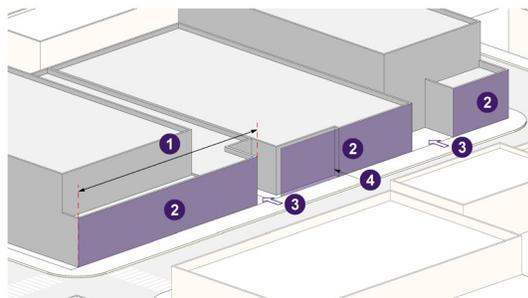
DEFINITION:
Façade. A face and/or plane of a building typically incorporating windows, entries, and architectural treatments

Exhibit 3.13:
Building Modulation

3.6.10.A Façade Modulation at Maximum 18-Inch Setback Lines

Along building frontages and sidewalks where a maximum eighteen (18") inch setback lines are required (See Exhibit 3.10), the architectural expression of facades shall express modulation and/or variation in the design of architectural massing and/or mass at least once every one hundred and twenty-five (125') feet. This modulation may be attained through the use of breaks in building plane, major changes in massing, utilization of projecting bays or recesses, changes in material, differentiation of color, setbacks leading to ground level open space, and/or use of architectural detail, elements, and/or ornament (See Exhibit 3.13).

3.6.10.B Façade Modulation at Maximum 5-Foot or Minimum 8-Foot Setback Lines



- 1 Maximum distance without modulation (See sections 3.6.10.A and 3.6.10.B)
- 2 Building plane
- 3 Break in massing
- 4 Break in building plane

Along building frontages and sidewalks where a maximum five (5') foot setback lines are required for commercial and mixed-use buildings and a minimum eight (8') foot setback line is required for residential-only buildings as noted on Exhibit 3.10, the architectural expression of facades facing these frontages shall express modulation and/or variation in the design of architectural massing at least

once every sixty (60') feet. This modulation may be attained through the use of breaks in building plane, major changes in massing, utilization of projecting bays or recesses, changes in material, differentiation of color, use of openings leading to ground level open space, and/or use of architectural detail, elements, and/or ornament (Exhibit 3.13).

3.6.10.C Façade Modulation

Façade modulation should be realized through use of minimum eighteen (18") inch changes in building plane, incorporation of minimum six (6') foot deep step backs, material changes, use of detail such as horizontal banding, use of bulkheads at storefronts, window surrounds, vertical and horizontal articulation shading devices such as eyebrows and awnings, ornament, and/or other similar architectural expressions (Exhibit 3.14).

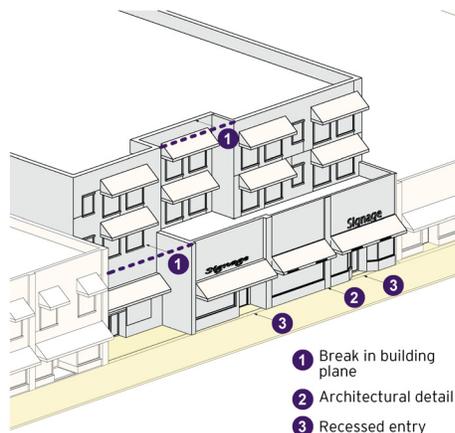


Exhibit 3.14:
Façade
Modulation

3.6.10.D Building Design Relationships between Existing and New Structures

New infill buildings and additions should utilize modulation at sidewalks and street frontages to reference adjacent building features to create relationships between adjoining structures (Exhibit 3.14).

3.6.10.E Façade Depth

Each building elevation that faces a sidewalk or street should have a quality of façade depth that is created by setting windows and storefronts back a minimum of four (4") inches from the building plane and face (Exhibit 3.15).

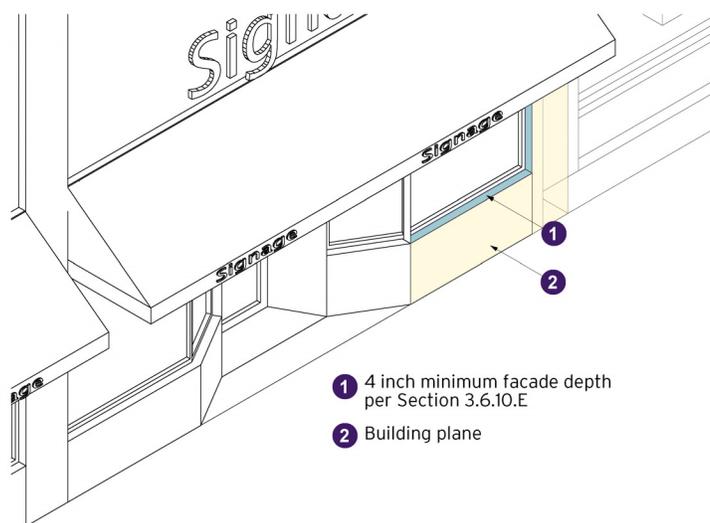


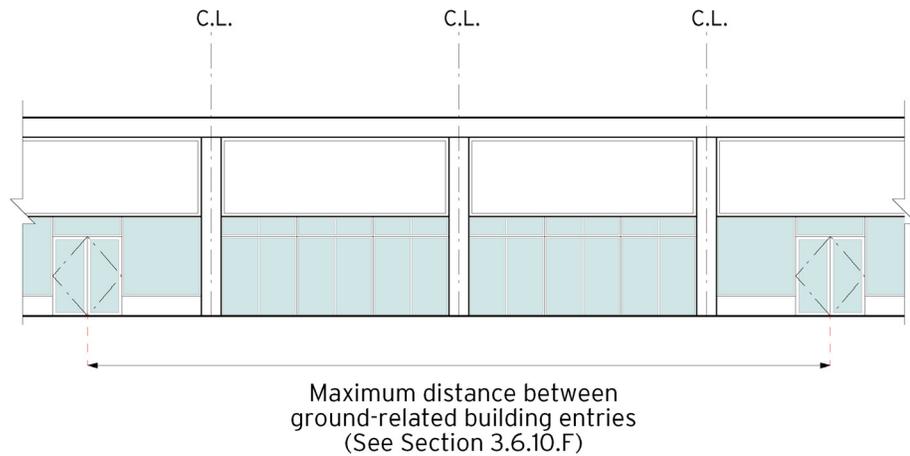
Exhibit 3.15:
Façade Depth

3.6.10.F Building to Sidewalk Relationships

To enhance interaction and connectivity along sidewalks and streets in Downtown, ground-related entries are required and encouraged as follows.

- ▶ **Entry Frequency at Maximum Eighteen (18") Setback Lines** - Along street frontages where a maximum eighteen (18") inch setback lines are required by Exhibit 3.10, a ground-related building entry leading to a building lobby, storefront entry, and/or entry to a ground-level open space such as a courtyard or terrace shall occur at least once every seventy-five (75') feet as shown in Exhibit 3.16. These ground-related entries shall also be a maximum of twelve (12") inches above or below the adjacent grade level as shown in Exhibit 3.17.

Exhibit 3.16: Entry Frequency



- ▶ **Entry Frequency at Maximum 5-foot or Minimum 8-foot Setback** - Along street frontages where a maximum five (5') foot setbacks are required at commercial and mixed-Use buildings and a minimum eight (8') foot setback is required at residential-only buildings, per Exhibit 3.10, a ground-related building entry leading to a building lobby, storefront entry, residence, live-work unit, and/or entry to a ground-level open space such as a courtyard or terrace shall occur at least once every fifty (50') feet. These ground-related entries shall also be a maximum of thirty (30") inches above or below the adjacent grade level as shown in Exhibit 3.17.

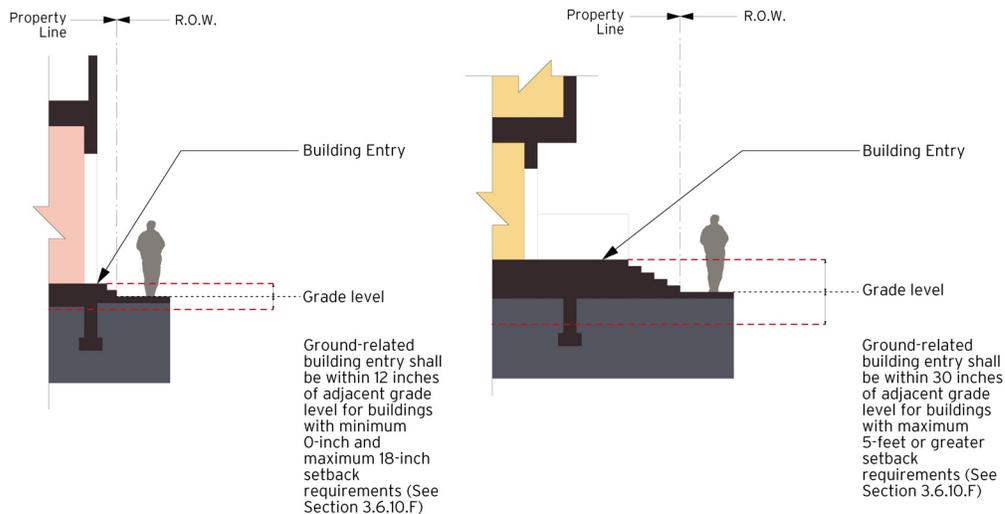


Exhibit 3.17:
Ground-related
Building Entry

- ▶ **Building Entry Detail at Commercial and Mixed-use Buildings** - To emphasize architectural elements of building entries in relationship to sidewalks, encourage a sense of detail at the ground level of buildings, and create connection and transition at the ground floor of residential units in relationship to sidewalks, building entries should incorporate recesses and/or projections from building faces, architectural surrounds such as moldings, use of quality materials such as brick, stone, and cast concrete, awnings and canopies over entries, and other architectural elements that create a sense of transition and passage from the public realm to the private realm.



Image (top): Details shown here include recessed entries, bay windows, mullions, and moldings.



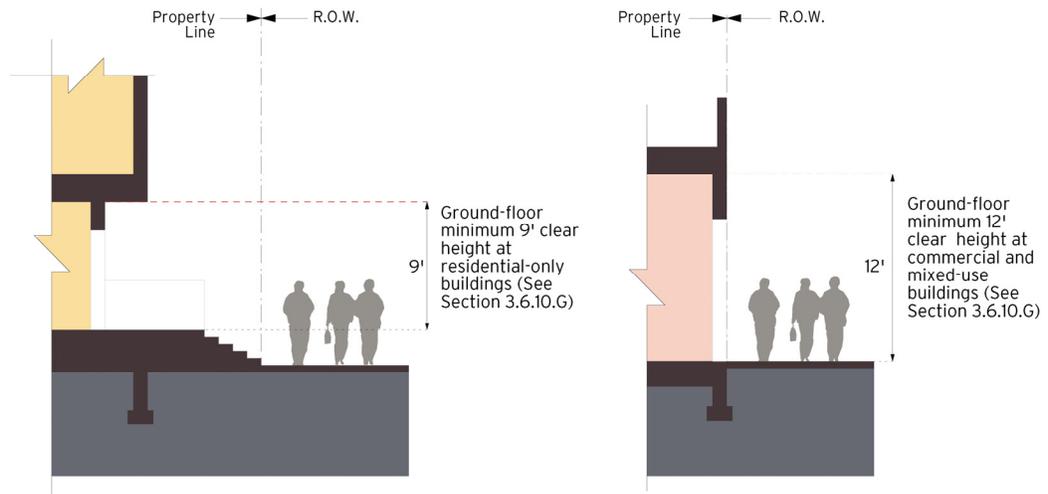
Image (bottom): Pedestrian entries are emphasized through stoops and overhangs at entries.

3.6.10.G Ground-floor Minimum Clear Height Requirement

To ensure that new construction facilitates quality commercial and residential uses at the ground level, minimum first floor clear height requirements are required as follows.

- ▶ **Ground-floor Minimum Clear Height at Commercial and Mixed-Use Buildings** - The clear height of first floor uses at commercial and mixed-use structures throughout the Downtown Specific Plan area shall not be less than twelve (12') feet clear from top of floor to bottom of ceiling (See Exhibit 3.18).
- ▶ **Ground-floor Minimum Clear Height at Residential Only Buildings** - The clear height of first floor uses within residential-only structures including live-work structures, within the Downtown Specific Plan area shall not be less than nine (9') feet clear from top of floor to bottom of ceiling except at kitchens, bathrooms, and non-inhabitable areas which shall not be less than eight (8') feet clear (See Exhibit 3.18).

Exhibit 3.18:
Ground-floor
Minimum Clear
Height



3.6.11 Storefront Design

Well-detailed, transparent, and active storefronts are a hallmark of downtown pedestrian experiences. To maintain and enhance this aspect of town life in Downtown Downey, storefronts are required as follows.

- ▶ **Storefront Façade Height** - Where storefronts are required per Exhibit 3.21, the street walls, facades, and front planes of buildings shall be a minimum of twenty (20') feet in height (See Exhibit 3.19).
- ▶ **Storefront Header Height** - Storefronts at exteriors shall be a minimum of ten (10') feet in height from finish grade at the sidewalk to the top of the storefront header, soffit, and/or fascia at the storefront opening (See Exhibit 3.19).
- ▶ **Storefront Depth** - Minimum forty (40') foot deep storefronts oriented to sidewalks and public rights-of-way shall be provided at building frontages as shown in Exhibit 3.21. Storefront depth shall be measured from the front building plane and may include open-to-the-air recessed areas behind the front building plane. In no case shall more than fifteen (15') feet of depth of open-to-the-air recessed area behind the front building plane count towards the required storefront depth (See Exhibits 3.20).

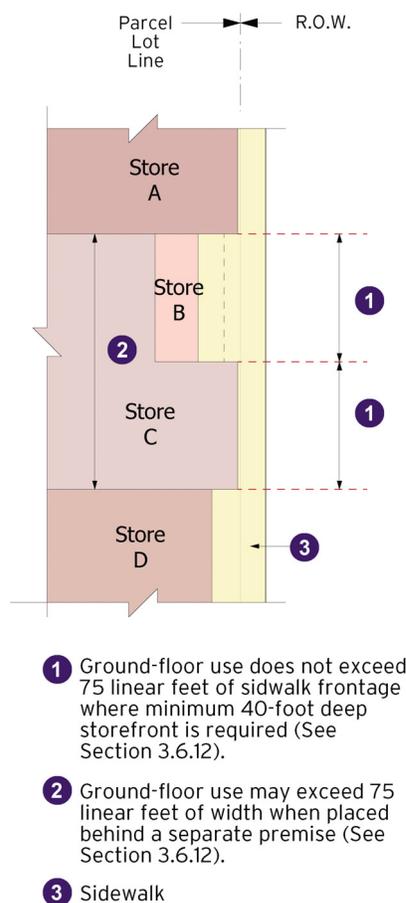
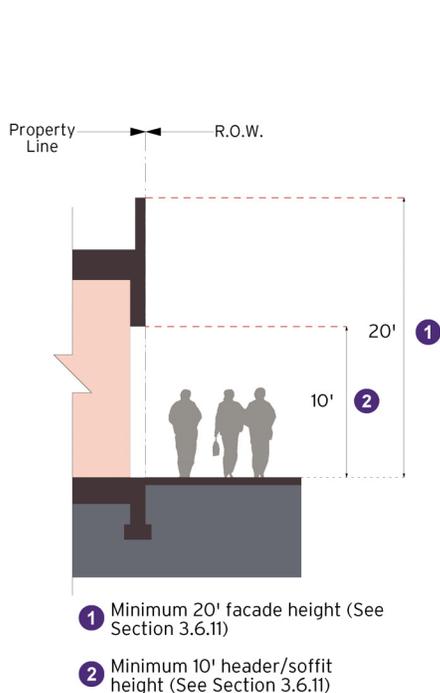
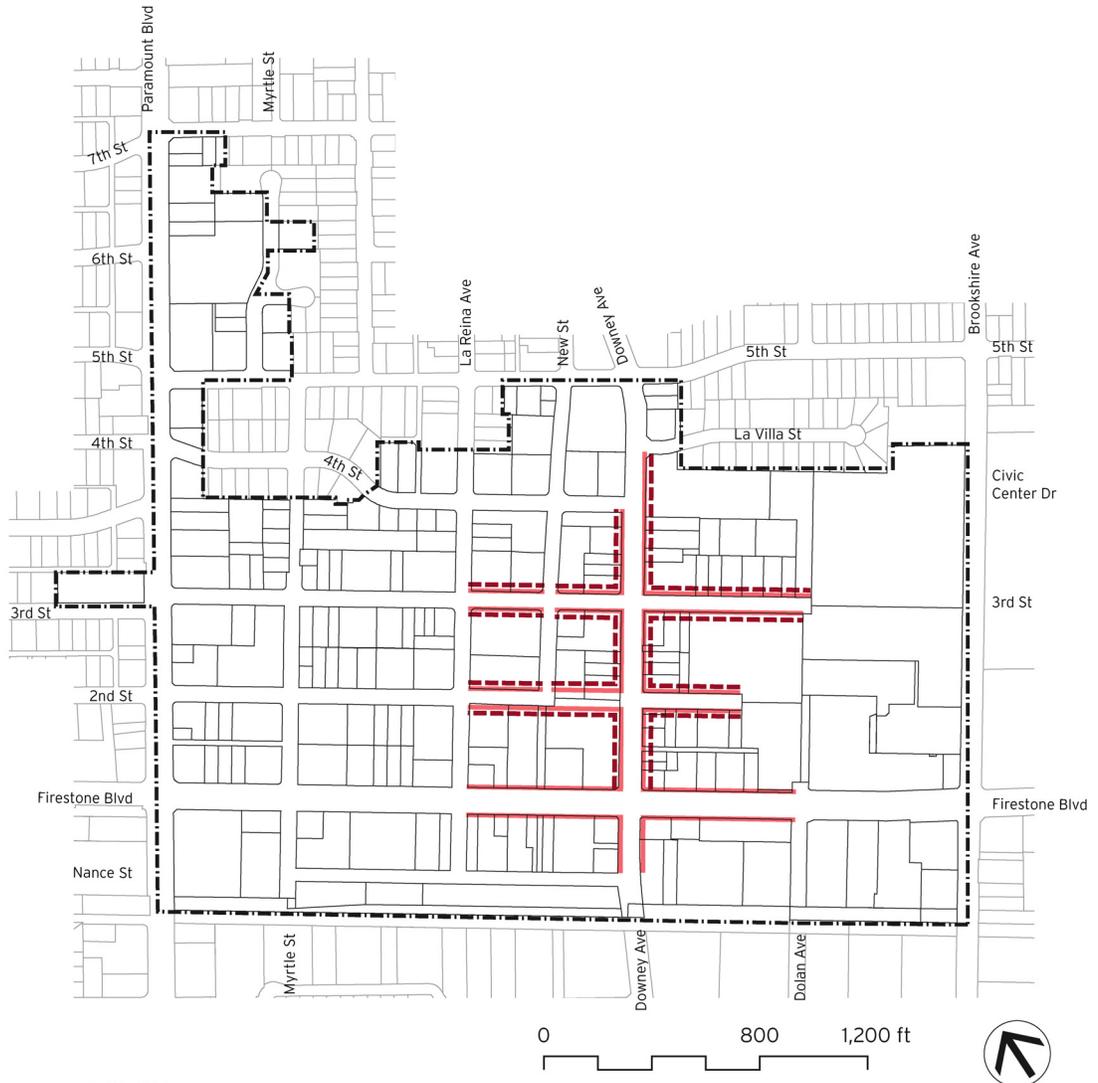


Exhibit 3.19 (left):
Storefront Façade and Header Height

Exhibit 3.20 (right):
Storefront Depth

Exhibit 3.21: Required Storefronts



LEGEND

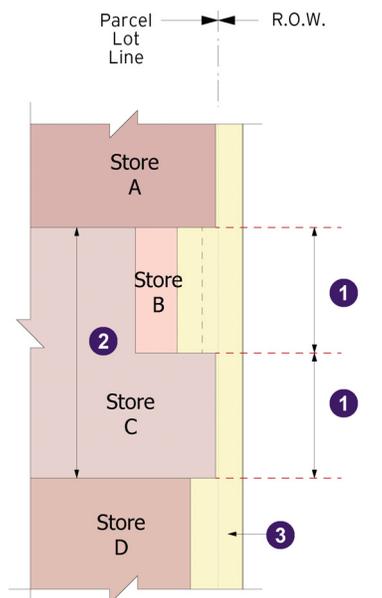
- Minimum 40-foot deep storefront with minimum 20-foot facade height required
- - - Maximum 75-foot linear storefront length
- - - Specific Plan area

Exhibit 3.21 Required Storefronts

Section 3 Design Standards & Guidelines

- ▶ **Storefront Primary Entrance** - A primary entrance shall be provided at each storefront and premises related to a storefront within the Downtown Specific Plan area. Such storefront and/or premises shall be open and accessible during normal business hours (see also Section 3.6.10.F for frequency of entrances).

- ▶ **Storefront Façade Width** - Where minimum forty (40') foot deep storefronts are required or provided per Exhibit 3.21, no single storefront, premise, or ground floor use shall exceed seventy-five (75') linear feet of sidewalk frontage. Premises greater than seventy-five (75') linear feet in length are allowed, but any additional length shall be placed behind a separate premise that independently meets the criteria of Exhibit 3.22.



- ① Ground-floor use does not exceed 75 linear feet of sidewalk frontage where minimum 40-foot deep storefront is required (See Section 3.6.11).
- ② Ground-floor use may exceed 75 linear feet of width when placed behind a separate premise (See Section 3.6.11).
- ③ Sidewalk

Exhibit 3.22:
Storefront
Façade Width

- ▶ **Storefront Bay Width** - Along sidewalks and streets with a maximum eighteen (18") Inch setback, as required by Exhibit 3.10, a storefront bay shall not exceed twenty-five (25') feet in width and shall be separated from adjacent storefronts or other building components by columns, pilasters, vertical separations, and/or other architectural elements as shown in Exhibit 3.23.

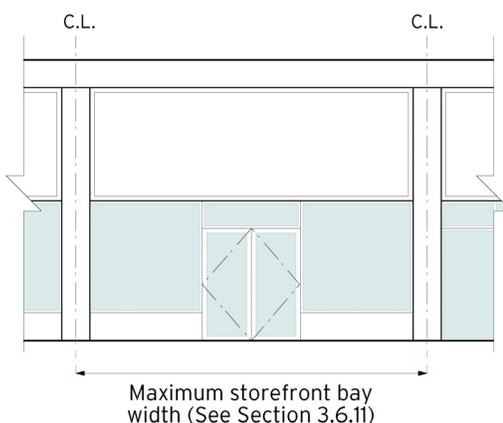


Exhibit 3.23
Storefront Bay
Width

Exhibit 3.24:
Storefront Bay
Proportions

- ▶ **Storefront Bay Proportions** - The overall proportion of a storefront bay should be approximately square and should have a maximum ratio of 1.5 feet of width for every one (1') foot of height (See Exhibit 3.24).

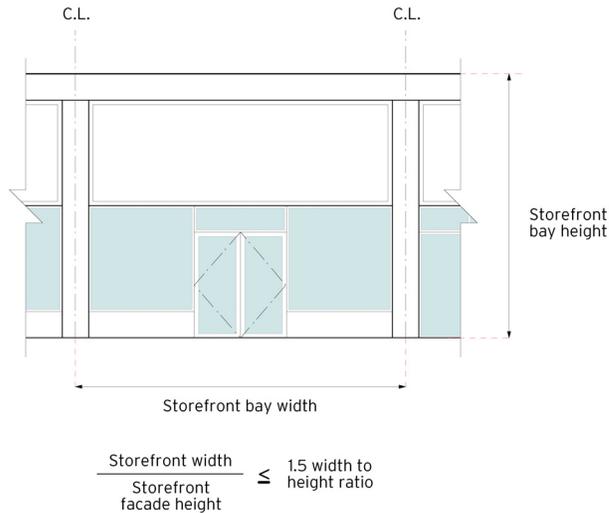
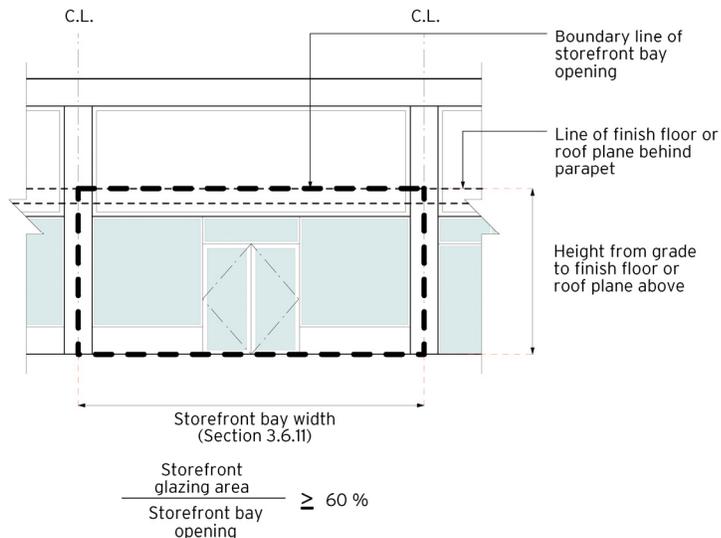


Exhibit 3.25:
Storefront Bay
Opening
Minimum
Glazing Area

- ▶ **Storefront Bay Opening Minimum Glazing Area** - A minimum of 70% of the storefront bay opening shall consist of doors and transparent windows. Back painting, obscured glass, and any treatment of storefront glass that obstructs views into and out of storefront spaces and associated premises are not allowed. In cases where privacy or control is required, curtains, shades, shutters, and similar devices shall be utilized in such a manner that if removed, the integrity of the storefront transparency is not damaged (See Exhibit 3.25).

DEFINITION:
Storefront Bay Opening. The area contained between the floor and the floor plane above or roof plane above and the storefront bay width.



- ▶ **Maximum Sill Height** - The sill of storefronts and/or similar sidewalk facing window elements at commercial uses shall be no more than three (3') feet above the adjacent sidewalk (See Exhibit 3.26).

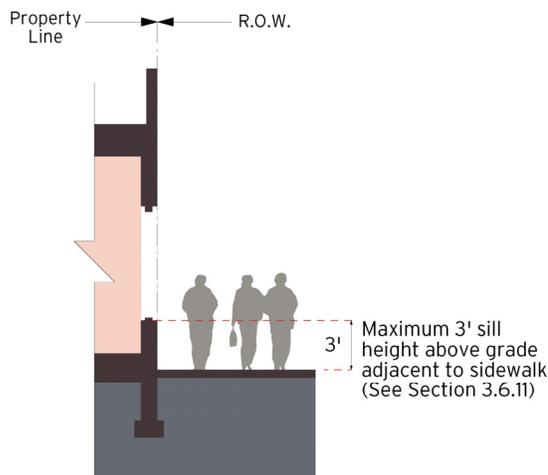


Exhibit 3.26:
Window Sill
Height

- ▶ **Visual Interest at Storefront** - Storefronts with recessed entries, recessed components, integral display windows, projecting bays, glazing that alternates between front and back of mullions, true dividing mullions, operable windows, fixed and operable transoms, integral signs and sign bands, and architectural elements and details that provide a sense of variety and interest within storefront bays and/or grouping of bays are encouraged.

- ▶ **Storefront Equivalent Opening Elements** - In lieu of storefronts, bay windows, display windows, show windows, shadow boxes, and/or similar individually expressed opening elements that provide visual interest at the grade plane and sidewalk may be permitted by the City Planner, provided that the alternative opening elements allow for the insertion of transparent storefront without demolition of any surrounding walls and/or structure should the approved use change.



Image: In-lieu of storefronts, show windows are used to create visual interest along sidewalks.

- ▶ **Fences at Outdoor Dining** - Fences and barriers associated with outdoor dining shall not be required as long as such dining does not impede pedestrian movement and access to adjacent premises and properties and shall meet minimum Americans with Disabilities Act requirements set forth in Title 24, Part 6 of the California Code Regulations. Notwithstanding this, should a fence be required by the State of

California Department of Alcohol Beverage Control around the outdoor dining area, the design of the fence shall be approved by the City Planner and shall be located in a manner to comply with Title 24, Part 6 of the California Code Regulations

3.6.11.A Awning and Canopy Standards and Guidelines

Awnings and pole mounted canopies attached to building facades, storefronts, and windows shall be integral to and fit within the shape, form, and dimension of the framing elements, openings, and building and/or storefront bays at the point of attachment to the building.

Image:
Awnings protect storefronts from direct sunlight, frame storefront windows, and reinforce pedestrian scale along Downey Avenue.



3.6.11.B Glazing Guidelines at Storefronts and Within Downtown Specific Plan Area

Use of tinted glass at the first level of buildings facing public sidewalks and streets is prohibited. Use of reflective glass is prohibited throughout the Downtown Specific Plan area.

3.6.11.C Material Guidelines

Use of high-quality and durable materials such as smooth finish stucco, full-size bricks, and stone are encouraged. Exterior finish materials such as applied false-brick veneer, industrial metal cladding and vinyl siding imitating wood siding are discouraged. Materials that are easy to maintain and clean are strongly encouraged. Additionally, change and variation in materials is encouraged to create visual interest through accentuation of areas of architectural prominence including but not limited to entries, building bases, windows, and sign bands. Use of materials and color should be consistent with the architectural style chosen. A good reference for architectural styles and use of materials is *A Field Guide to American Architecture* by Carole Rifkind (New American Library, New York, 1980).

3.6.11.D Security at Ground Floor Commercial Premises

Solid roll-down doors and grills mounted on the exterior of buildings create a forbidding sensibility within downtown areas that are typically better lighted and with greater police presence than other districts. To contribute to the creation of an inviting family-oriented environment in Downtown, interior security devices are allowed, but exterior security grills and similar security elements are not permitted within the Downtown Specific Plan area.

Upward rolling, side folding, or rolling security grills at the interior of ground floor spaces are allowed and should be designed to be integral to the architecture of the building and storefront. Such devices should utilize dedicated interior side pockets and/or ceiling cavities such that the grill and all mechanisms associated with the grill are not visible from adjacent public right-of-ways and sidewalks when the grill is in an open position. Such security grills when deployed shall have a minimum transparency of 70% (See Exhibit 3.27).

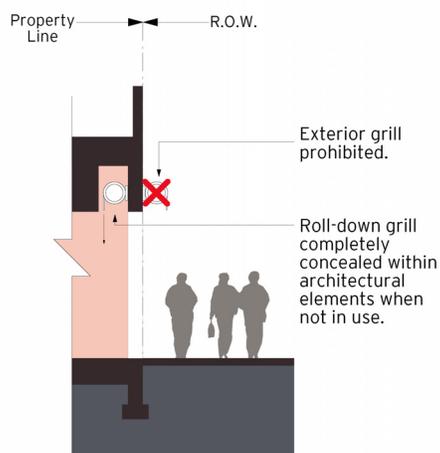


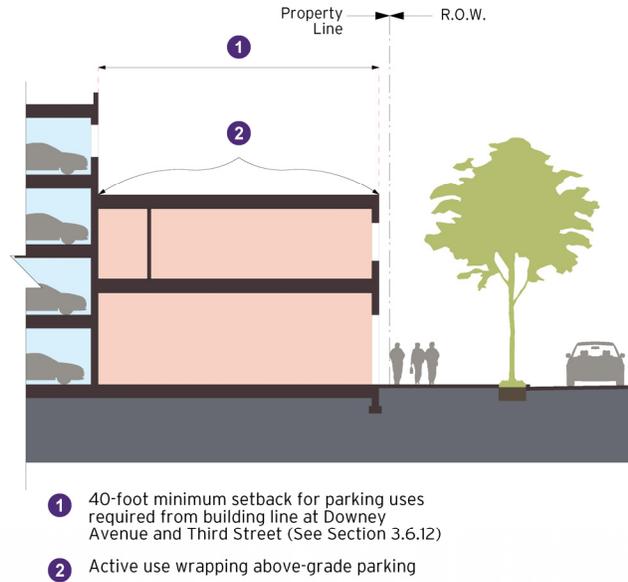
Exhibit 3.27:
*Indoor Security
Grille for
Ground-Level
Commercial
Spaces*

3.6.12 Parking Structure and Surface Lot Design Standards

Well-designed parking structures and lots that blend in and contribute to the Downtown Downey scene are critical to the long-term success of this district. To realize high-quality parking structures, the following design standards and guidelines are provided.

- ▶ **Above-grade Parking Setback** - Above-grade parking structures and parking uses on lots adjacent to Downey Avenue and Third Street shall be set back a minimum of forty (40') feet (as shown in Exhibit 3.28). To maintain pedestrian and visual interest along sidewalks, ground-floor and upper-floor uses incorporated within and/or placed in front of any grade-level parking throughout the Downtown Specific Plan area is encouraged.

Exhibit 3.28:
Setback for
Parking
Structures and
Surface
Parking Lots



- ▶ **Above-grade Parking Structure Architectural Expression** - Above-grade parking structures that are adjacent to streets or visible from streets shall be architecturally treated utilizing high-quality materials and architectural expression and shall meet the design standards and guidelines of this Plan.

Image: Parking structures should include pedestrian-friendly façade design and signage



- ▶ **Landscape Adjacent to Parking Structure** - Any open area between an above-grade parking structure and an adjoining public sidewalk and/or street shall be fully landscaped with both hardscape and softscape. These landscape areas should be developed as pocket parks that are available for public use during normal business hours.
- ▶ **Landscape Adjacent to Surface Parking Lot** - Any open area between a new surface parking lot and an adjoining public sidewalk and/or street

shall be fully landscaped with a minimum of five (5') feet of softscape, except for approved driveways and/or walkways.

3.6.13 Conservation Standards and Guidelines

The overall intent of these design standards and guidelines is to both encourage new infill construction and retain and rehabilitate older structures towards the creation of an eclectic mix of new and old buildings in Downtown Downey that can accommodate the widest range of uses. To encourage this mix, the following standards and guidelines are provided:

3.6.13.A Architecturally or Historically Significant Buildings

If a building within the Downtown Specific Plan area is determined by the City of Downey to be architecturally and/or historically significant, appropriate reuse, rehabilitation, and/or preservation of the structure may be required.



Image: The Rives Mansion is the only identified historically significant building in Downtown

Photo courtesy of the Downey Historical Conservancy

3.6.13.B Renovation of Existing Buildings

To the maximum extent feasible, when existing buildings are improved and/or repaired, character-defining features such as ornament, proportions of windows, storefronts, and other original features should be retained and repaired.

3.6.13.C Architecturally and/or Historically Significant Storefronts

Architecturally and/or historically significant storefronts within the Downtown Specific Plan area shall be maintained, restored, and/or rehabilitated in place. Moving of historic storefronts to other building locations for any purpose is not allowed. Any new use or renovation of a storefront shall retain to the maximum extent feasible historic features that characterize a property.

3.7 Signage Standards and Guidelines

High-quality signs contribute to the overall identity of a district, help people find their way along streets and sidewalks, and clearly mark a downtown as a destination for entertainment, dining, and civic uses. All signs within Downtown Downey shall comply with the following standards:

Image: A variety of sign types add visual interest to pedestrian

3.7.1 Procedures for Signs Requiring Permits

It shall be unlawful for any person to install, construct, erect, alter, relocate, reconstruct, or cause to be installed, constructed, erected, altered, relocated, or reconstructed within the City any sign without first having obtained a permit in writing from the City Planner and making payment of the required fees. The owners of all signs, except non-permit signs and information boards, shall obtain a permit prior to a change of copy.



3.7.1.A Application Procedure

Applications for sign permits shall be made on forms provided by the City Planner and shall be reviewed in accordance with Downey Municipal Code Section 9610.02.

3.7.2 Total Signing Area

Maximum total signing area of all permit signs for each individual business shall not exceed one and three quarters (1¾) square feet of area for each lineal foot building frontage of the tenant space.

3.7.3 Permitted Signs

3.7.3.A Permitted Signs within Downtown

The following signs are permitted within the Downtown Downey Specific Plan area:

- ▶ Canopy or Awning
- ▶ Marquee/Theater
- ▶ Multiple-Tenant Complex
- ▶ Projecting
- ▶ Wall

3.7.3.B Other Permitted Signs within Downtown Downey

For the following permitted signs, refer to Chapter 6 of Article IX of the City of Downey Municipal Code:

- ▶ Directional
- ▶ Non-Permit (signs that do not require permits)

- ▶ Temporary
- ▶ Special Events

3.7.4 Standards for Permitted Signs

3.7.4.A Canopy or Awning Signs

- ▶ Signs shall only be permitted on the Flap/Valance of the canopy or awning.
- ▶ Sign Width: Up to 66% percent of canopy/awning width. Sign shall be centered on the canopy/awning.
- ▶ Lettering Height: Maximum 66% percent of valence height, with the letter height not to exceed eleven (11) inches. Maximum one line of text.
- ▶ Supplemental Text/Graphics: Any combination of text, supplemental text and/or logo is permitted. No graphics are permitted.
- ▶ Canopy/Awning Approval: Approval of the Canopy/Awning (exclusive of signs) shall be subject to Sections 2.4.4 and 3.6.11.A of this Specific Plan.



Image:
Awning with signs on the flap or valance.

3.7.4.B Marquee/Theater Signs

- ▶ Signs shall only be permitted on approved marquees. Marquees that project above the public right-of-way are subject to Section 2.4.4 of this Specific Plan.
- ▶ Sign Width: Up to 75% percent of marquee width. Sign shall be centered on the marquee.
- ▶ Area: Shall not exceed 40% of the background area.

Image:
Marquee
theater signs

- ▶ Height: Maximum height of letters shall not exceed two (2) feet.
- ▶ Theater Signs – In addition to the signs allowed by this section, theaters may be permitted up to an additional 300 square feet of changeable copy sign on the marquee. This additional sign area shall not count towards the maximum allowable sign.



3.7.4.C Multiple-Tenant Complex Signs

- ▶ Signs Applicable: For buildings with multiple tenants, the following standards shall apply.
- ▶ Ground Floor Tenants: For ground floor tenants with direct public entry facing a street or parking area, all signs shall comply with the standards set forth in Section 3.7 of this Specific Plan.
- ▶ All Other Tenants: For tenants located above the ground floor, or whose public entry is not facing a street or parking area (i.e. entry is through a common hallway, lobby, etc), the following standards shall apply:
- ▶ Directory Panel: Businesses above the ground floor or not fronting the public right-of-way may be listed on a single directory panel located on a wall of the building facing a public right-of-way, which shall not exceed two (2') square feet in area per business or a maximum combined area of all businesses of thirty (30') square feet in area.
- ▶ Buildings with businesses located above the ground floor, or whose public entry is not facing a street or parking area may be permitted a building identification wall or marquee sign that shall not exceed one (1) square foot per lineal foot of building frontage.

3.7.4.D Projecting/Hanging Signs



Images:
Projecting
signs

- ▶ **Building Frontage:** One per frontage with a public entry. Additional signs may be permitted for businesses with tenant spaces that are wider than 25', provided there is a minimum twenty-five (25') feet between signs.
- ▶ **Area:** Maximum eight (8') square feet of sign area.
- ▶ **Extension:** Edge of sign maximum four (4') feet from building façade.
- ▶ **Height:** Top of sign maximum fourteen (14') feet from sidewalk.
- ▶ **Clearance:** Minimum eight (8') feet above sidewalk.
- ▶ **Copy Area:** Business name and supplemental text/graphics shall not exceed 75% of the background area.
- ▶ **Encroachment Permit:** Signs that project into the public right-of-way are subject to Section 2.4.4 of this Specific Plan.

3.7.4.E Wall Signs

Wall signs include signs on the façade or façade fascia parallel to the face of the wall shall be considered as wall signs.

- ▶ **Location:** Each business may be permitted no more than one (1) wall sign each façade with a public entry that is facing a street or parking area.
- ▶ **Size:** Wall signs shall not exceed one and one-half (1½) square feet for each lineal foot of frontage of the tenant space.
- ▶ **Maximum Width:** Sixty-six (66) percent of the width of the tenant space frontage.
- ▶ **Maximum Projection From Wall:** Maximum six (6) inches from face of wall.
- ▶ **Painted Signs:** Signs painted on the surface of a building or structure may be substituted for a wall sign. Such signs shall be included in the total authorized sign area.

Image: Way-finding signs help pedestrians and motorists navigate a downtown and build identity.

3.7.4.F Way-finding Program

The City should develop and implement a way-finding program to brand Downtown and assist people seeking their way to and from Downtown Downey businesses, resources, and amenities. Elements that should be provided as part of a Downtown Downey way-finding program include:

- ▶ Gateway elements that create a sense of entry and boundary to the Downtown district
- ▶ Way-finding signage posted throughout the downtown that leads people to and from parking and other key downtown resources and amenities
- ▶ Narrative, interpretive, and/or story-telling signage that describes the history, culture, landmarks, and story of Downtown Downey
- ▶ Coordination of the ongoing Downtown banner program with the way-finding program to maximize visual impact and cost benefit



3.7.5 Lighting and Design

3.7.5.A Design of Sign

- ▶ Design Elements: Elements to be incorporated into the sign design shall include the materials, letter style, colors, illumination, and sign shape.
- ▶ Overall Building Design: Signs shall be an integral part of the overall design of the building structure and shall be compatible with the buildings they identify.
- ▶ Neon: Neon that is approved by the City Planner or Planning Commission as part of the architecture of a building or group of buildings shall not be considered signage.

3.7.5.B Lighting

- ▶ Exterior Lighting: All lighting directed onto the exterior surface of a sign shall be provided with shielding devices to prevent such lighting from glaring or shining onto abutting properties and/or the public right-of-way.
- ▶ Interior Illuminated Signs: Interior illumination of signs shall either be through neon or LED strings and shall not exceed four hundred thirty (430) milliamperes, twelve (12") inches on center. Sections of signs using colored panels having low light transmission may have those panels illuminated with increased lighting equal to eight hundred (800) milliamperes intensity when certified by the installing sign manufacturer.

3.7.6 General Provisions

3.7.6.A Maintenance

- ▶ Operating Businesses: Every sign shall be properly maintained respecting appearance, structure and electrical provisions. All signs shall be cleaned, repaired or replaced within thirty (30) days following notification by the City.
- ▶ Shuttered Businesses: Any location where business goods are no longer sold or purchased or where services are no longer provided shall have sixty (60) days to remove any remaining or derelict on premises sign following notification by the City and at the expense of the owner of such property. Where the City has given written notification, and compliance has not been made within the required sixty (60) day period, the City may cause the removal of such signs with the costs for such removal to be attached to the property. For good cause shown, the City Planner may extend the specified period not to exceed ninety (90) days.

3.7.6.B Other Provisions

- ▶ Relocated Signs: A sign relocated on the same parcel of land shall be considered a new sign and shall meet all the requirements of this chapter.
- ▶ Required Information: Every sign requiring a permit shall display the name of the maker, the date of the installation and the permit number. Such information shall be clearly legible and in a conspicuous place on each sign.
- ▶ Special Permits: Nothing in this chapter shall prevent the City Council from granting a temporary special permit or otherwise permitting, on such terms as it may deem proper, signs (or the like) advertising or pertaining to any civic, patriotic, or special event of general public interest taking place within the boundaries of the City when it can be found that the same will not be materially detrimental to the public, welfare, interests or safety, nor injurious to abutting property improvements.

3.7.7 Enforcement of Signs

3.7.7.A Compliance

The City Council determines that the public peace, safety, and welfare require that all signs and advertising structures be constructed or erected subject to the provisions of this Specific Plan. The City Planner or his or her authorized representative shall not permit and shall abate any sign within the City which fails to meet the requirements of this Specific Plan or other applicable laws, including, but not limited to, failure to obtain a sign permit, creating a public hazard, and/or abandonment

3.7.7.B Nonconforming and Illegal Signs

Nonconforming signs may not be:

- ▶ Changed or altered to another nonconforming sign.
- ▶ Structurally altered so as to extend their useful life.
- ▶ Expanded.
- ▶ Reestablished after discontinuance for ninety (90) days or more.
- ▶ Repaired when the repairs exceed 50% of the reasonable replacement value of the existing sign or support structure, unless they shall be made to conform to the requirements of this chapter

3.8 Street Lighting and Furniture

The following street lighting and furniture guidelines provide conceptual direction for the design, style, and location of street furniture in Downey. Under the direction of the City Planner, a more detailed and comprehensive design development will take place prior to the selection and installation of specific lighting and furniture.

3.8.1.A Pedestrian Lighting

New pedestrian lighting shall match existing straight-neck pedestrian lights located along Downey Avenue. New lighting shall typically be placed every thirty (30') feet.

3.8.1.B Vending Machines/Newspaper Racks

No more than four vending machines shall be located within a space of four hundred (400') feet in any direction within the same block of the same street. No more than eight publication vending machines shall be allowed on any one block. See Section 6599 of the Downey Municipal Code for all other provisions regarding vending machines and newspaper racks.

3.8.1.C Bench Seating

Benches shall be located along the sidewalk to allow pedestrians to rest and people watch. Benches are encouraged near pedestrian lamps and landscaped areas.

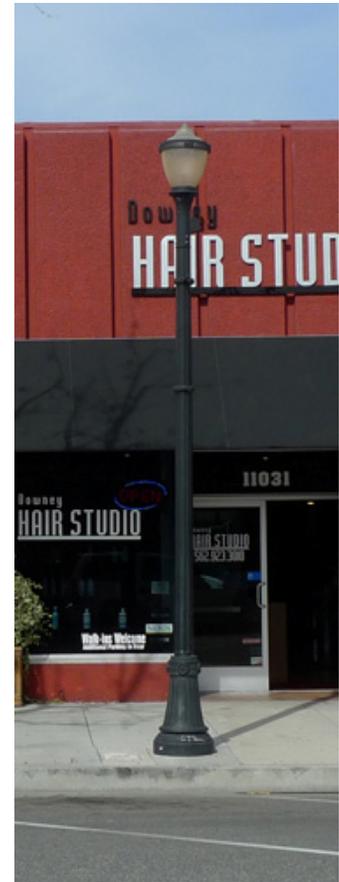


Image: Light posts along Downey Avenue shall be encouraged throughout the Specific Plan area.



Images:
Benches shall be placed throughout Downtown to encourage pedestrian activity.

3.8.1.D Drinking Fountains

Drinking fountains are encouraged in parks and plazas and other public gathering spaces.

3.8.1.E Trash receptacles

Trash receptacles shall be located near public benches and at public gathering areas.

3.8.1.F Bicycle Racks and Lockers

Bicycle racks and lockers are encouraged in well-lit locations that are easily accessible to adjacent building entries and public spaces and visible from public right of ways.



Image (top):
Bicycle parking facilities will be provided throughout Downtown to encourage easy bicycle access.

3.8.1.G Planting Pots and Boxes

Planting pots and boxes may be placed on sidewalks and front setback as long as the clear sidewalk width can meet the minimum ADA requirements.

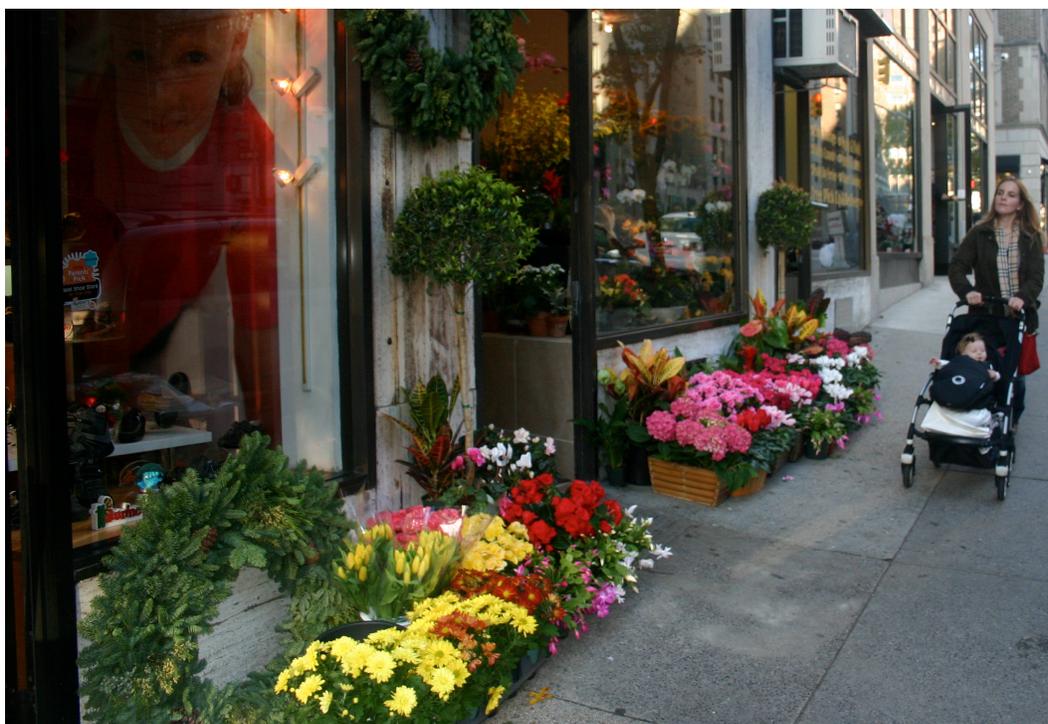


Image (bottom):
To enhance the streetscape planting pots and boxes are allowed and encouraged.

Image: This mural at the Downey Depot depicts key historical moments in the City's history.

3.9 Public Art Guidelines



Downey's public art program provides for "outdoor artworks that are easily accessible to the general public." The City requires developers to pay in-lieu fees or to install public art on projects that involve construction of commercial or light industrial buildings, residential projects with four or more dwelling units and a total cost of more than \$500,000, and reconstruction projects that increase the value of the property by 50% or more within a year. A total of 1% of construction costs with a maximum of \$150,000 must be reserved for this use. In lieu fees collected from projects within the Downtown shall be utilized in the Downtown Specific Plan area.



Mobility Plan ◀

City of Downey

Downtown Specific Plan



4. Mobility Plan



This chapter describes the established street network in the Specific Plan area, recommends the improvement strategies for the transportation network to support the types and densities of new development allowed in Downtown, and introduces design standards for recommended street improvements and enhancements to the existing street system. Transportation facilities examined include roadways, intersections, pedestrian walkways, potential bicycle connections and the location of the Downey Depot and bus routes within Downtown.

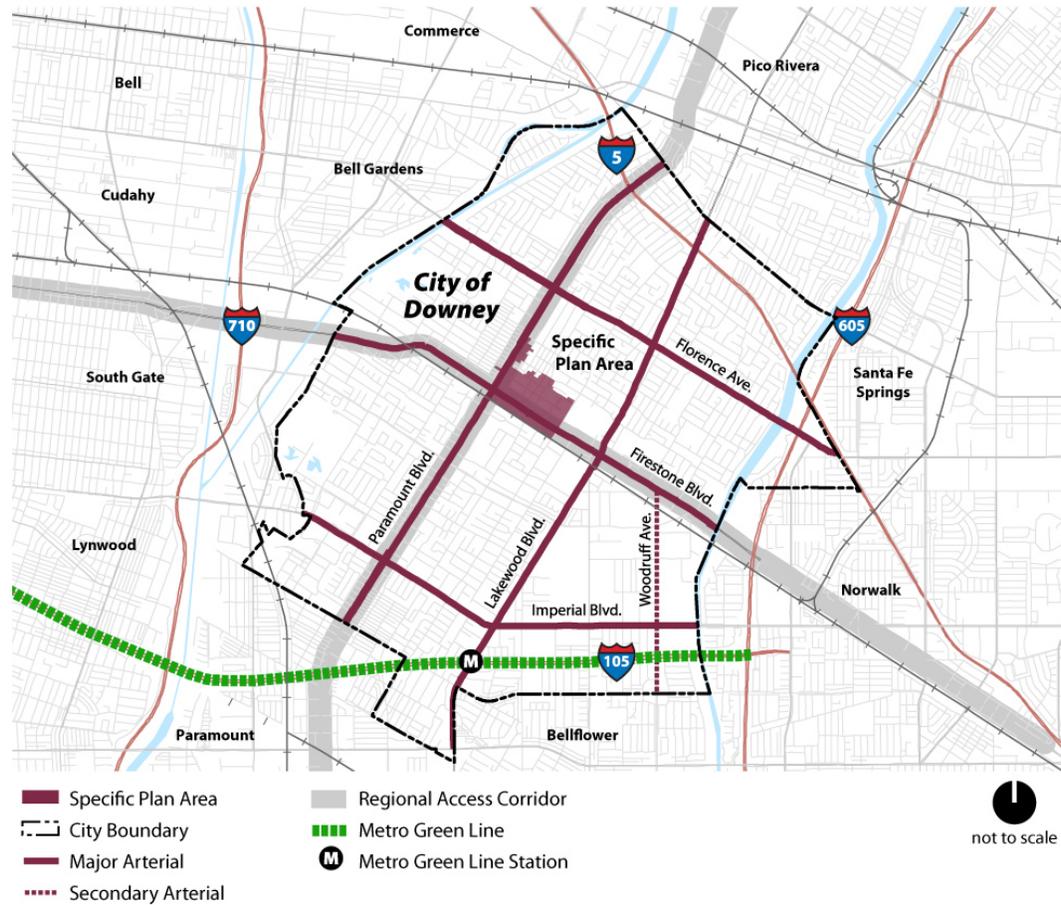
The Specific Plan area is central to and well served by I-5, I-710, I-605, and I-105 freeways. Firestone Boulevard and Paramount Boulevard are the primary arterial roadways serving as regional access corridors to the Specific Plan area. Downey Avenue and Brookshire Avenue also allow access into Downtown. In addition to the freeways and arterial roadways, a relatively well-developed transit system provides access and connectivity between Downtown Downey and the surrounding areas. Exhibit 4.1 illustrates the regional context of Downtown within the larger transportation network.



Image: Street sign at the intersection of Second Street and La Reina Avenue

Image: Metro bus stop along Firestone Boulevard

Exhibit 4.1: Regional Transportation Context



4.1 Mobility Vision

From a transportation perspective, the Specific Plan is intended to balance the needs of the various roadway users. It is desirable to both serve the mobility needs of a wide range of potential modes of transportation and to create an urban space that is vibrant and enjoyable.

As outlined in Chapter 3, Design Standards and Guidelines, the planned land use densities are generally considered “urban” in nature, with three to four (3-4) story buildings allowed throughout the Downtown core and buildings to a maximum of six (6) stories along Firestone Boulevard. The Specific Plan area is generally flat, and the climate is mild and conducive to outdoor activity during most months of the year. These characteristics (mild climate, flat terrain) are favorable for walking, bicycling, and the use of neighborhood electric vehicles.

An effective transportation system will recognize the great variety of users in a community and their differing needs. Some of the variables that influence the best type of transportation for a given user are:

- ▶ Purpose of their trip (work, shopping, school, recreation, etc.)
- ▶ Location of their destination (within Downtown, within the City of Downey, outside the City of Downey)
- ▶ Physical condition and interest in exercise as a side-benefit of travel
- ▶ Family context (part of a multi-purpose trip or stand-alone)

The emphasis of the Downtown Specific Plan is to encourage a broad range of transportation opportunities, reflecting a desire to improve the sustainability of Downtown. The provision of alternative modes of transportation will contribute to sustainable development patterns by allowing users to satisfy their functional travel needs while supporting their environmental, social, and recreational interests.

Mobility Goal:
"Balance the needs of the various roadway users."

To obtain an in-depth understanding of the circulation system in Downtown the *Downtown Downey Specific Plan Traffic Study* (June 2010) was completed, analyzing each roadway in the project area and eleven (11) key intersections. The Traffic Study ultimately demonstrates that the proposed Specific Plan will generate less traffic than is allowed under the currently adopted General Plan. The *Downtown Downey Specific Plan Traffic Study* is provided under separate cover.

4.2 Established Street Network

The Downtown Downey street network was constructed based on a grid pattern, with a typical block size of approximately three hundred (300') feet. The grid allows easy access for automobiles in and out of Downtown while maintaining the area as suitable for pedestrians. In 2001, the City of Downey completed the



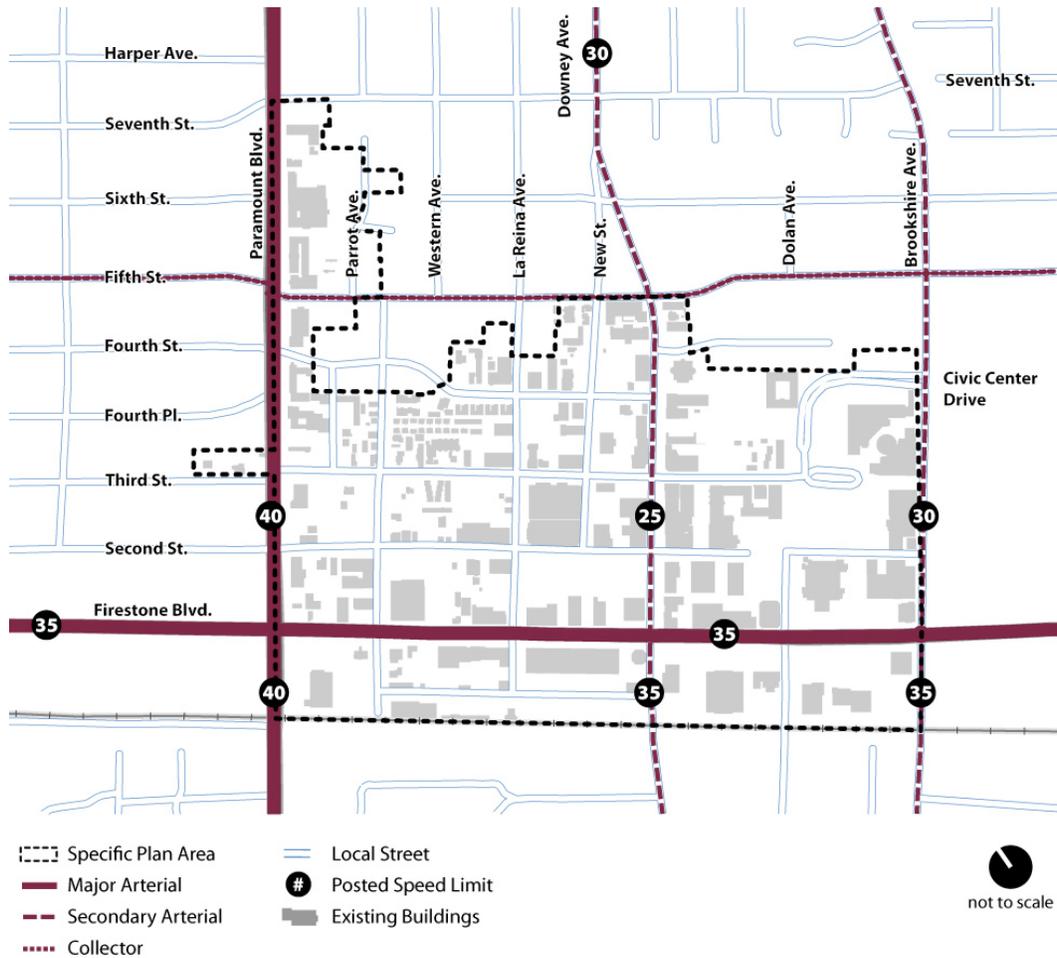
Downey Avenue Revitalization Project, which included both pedestrian and roadway improvements to the Avenue. In an effort to make Downey Avenue more pedestrian-friendly, the Revitalization Project included narrowing of the roadway and expanding the pedestrian sidewalks on both sides of the street, adding diagonal parking, street trees, landscaping and other pedestrian amenities.

In addition to Downey Avenue, a number of key roadways for Downtown access and circulation have been examined. Additional information on key intersections analyzed as well as existing traffic flow and level of service information, is provided, under separate cover, in *The Downtown Downey Specific Plan Traffic Study*. Key roadways in the Specific Plan area include Firestone Boulevard, Paramount Boulevard, Brookshire Avenue, Downey Avenue, Third Street and La Reina Avenue. Exhibit 4.2 illustrates the established roadway network within the Specific Plan area.

Exhibit 4.2 Established Roadways with Speed Limits

Section 4 Mobility Plan

Exhibit 4.2: Established Roadways with Speed Limits



4.3 Street Sections

4.3.1 Major Arterials

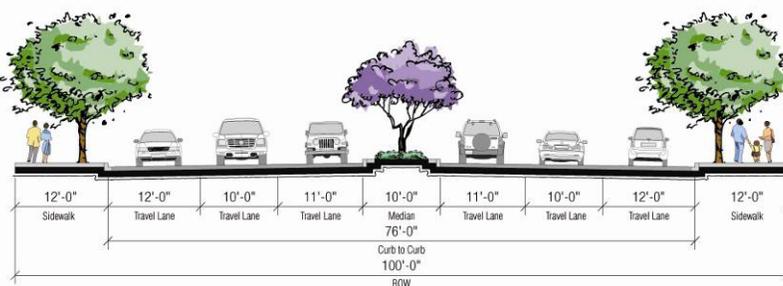
Within the Specific Plan area are two roadways designated as Major Arterial in the Circulation Element of the General Plan: Firestone Boulevard and Paramount Boulevard. Firestone Boulevard is a six-lane east west roadway with a center median, running centrally through the City and Downtown, providing access to both I-605 and I-710. Firestone Boulevard is a key commercial corridor, with businesses fronting the street, on-street parking, and access to the Stonewood Shopping Center, the Downey Medical Center and larger national chain retailers. As shown in Exhibit 4.2, Firestone Boulevard is a major access route to Downtown with speed limits reaching 35 miles per hour.

Similarly, Paramount Boulevard is a four-lane roadway with a center turning lane. It is also designated as a Major Arterial in the City of Downey General Plan Circulation Element. As a Major Arterial, Paramount Boulevard provides north

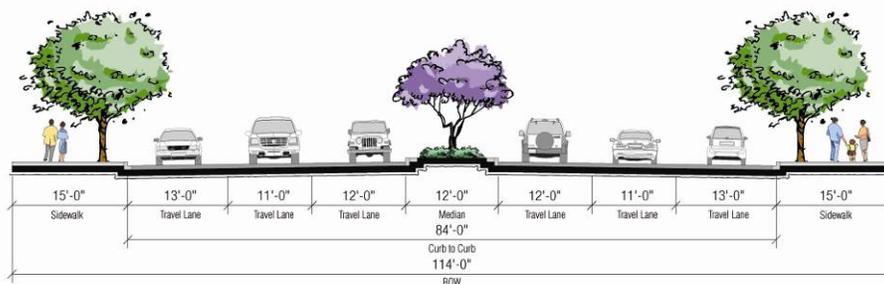
south access across the City and Downtown from I-5 and I-105. Paramount Boulevard, in contrast to Firestone, primarily serves residential neighborhoods, with some professional buildings and smaller commercial spaces fronting the street. Along Paramount Boulevard, through Downtown, speed limits reach a maximum of 40 miles per hour.

As identified in the General Plan, major arterial roadways are anticipated to have a typical right-of-way width between one hundred and six and one hundred and fourteen (106-114') feet. The desired typical mid-block curb-to-curb width for a Major Arterial is eighty-four (84') feet. Most of Firestone Boulevard (generally the area west of Dolan Avenue) and all of Paramount Boulevard through Downtown consist of a 100-foot-wide right-of-way, with a curb-to-curb width that varies between seventy-six and eighty (76-80') feet. Firestone Boulevard east of Dolan Avenue is slightly wider, with a 110-foot-wide right-of-way, and a curb-to-curb width of eighty-eight (88') feet. Although, the portions of Firestone Boulevard and Paramount Boulevard in the Specific Plan area are not at their ultimate General Plan build-out, the *Downtown Downey Specific Plan Traffic Study* has identified that a sufficient level-of-service can be maintained to serve the Specific Plan area.

Typical Right-of-Way for Major Arterial Streets (Existing)



Typical Right-of-Way for Major Arterial Streets (Recommended)



Although, expanded roadway improvements have been identified in the Downtown Downey Specific Plan Traffic Study to meet above satisfactory level-of-service such improvements are not necessarily consistent with the overall goal of creating a vibrant, pedestrian and bicycle friendly Downtown. The design of roadways within the Downtown Downey Specific Plan will play a major role in both accommodating automobiles and alternative modes of transport. Recommended cross-sections that are appropriate for the Downtown have been

Street Sections:
Existing and recommended street sections for Major Arterials

developed that reflect the need to balance the amount of space dedicated to the automobile against the needs of various other roadway uses.

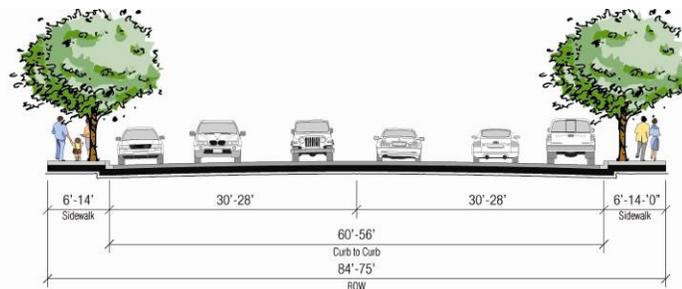
Generally, the recommended cross-sections for roadways within Downtown allow for wider sidewalks and narrower travel lanes. A sufficient level-of-service can also be accomplished through implementation of a program to monitor conditions at specific intersections and roadway segments and potentially funding alternative improvements such as traffic signal coordination, ridesharing, transit information kiosks or improvements to the infrastructure for alternative modes of transport (walking, bicycling, NEVs). The street section exhibits, below, illustrate typical existing street dimensions and the Specific Plan recommendations for a typical major arterial roadway.

4.3.2 Secondary Arterials

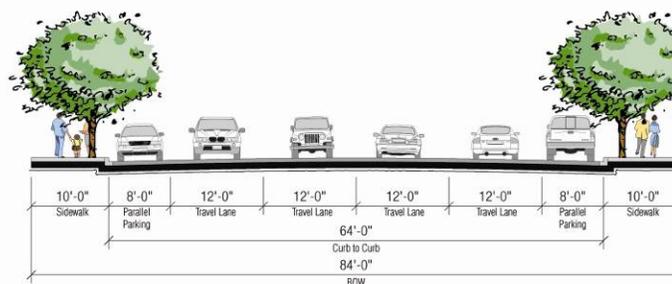
Within the Specific Plan area are two roadways designated as Secondary Arterials in the Circulation Element of the General Plan: Downey Avenue and Brookshire Avenue. As Secondary Arterials, Downey Avenue and Brookshire Avenue are intended to provide access to destinations within the City. Downey Avenue underwent improvements as part of the Downey Avenue Revitalization Project and is considered a prominent roadway in the Specific Plan area. As part of the Revitalization Project, the City established traffic calming measures, reduced the street from four lanes to two, adding wider sidewalks and angled parking on the west side of the street. Along Downey Avenue in Downtown, one- and two-story buildings, with primarily retail businesses and restaurants, front the tree-lined avenue and speed limits allow for a maximum of 25 miles per hour while speed limits along Brookshire Avenue range between 30 to 35 miles per hour.

Street Sections:
Existing and recommended street sections for Secondary Arterials

Right-of-Way for a Typical Secondary Arterial (Existing)



Right-of-Way for a Typical Secondary Arterial (Recommended)



The recommended mid-block configuration for a Secondary Arterial consists of a 64 foot curb-to-curb width within an overall right-of-way width of eighty-four (84') feet. Brookshire Avenue is currently constructed to this standard. Downey Avenue has a variable right-of-way width within Downtown, ranging between seventy-five and eighty-four (75- 84') feet. The curb-to-curb cross section also varies extensively through the Specific Plan area, as Downey Avenue has been extensively reconstructed to provide a more traditional "downtown" ambience, with diagonal parking in some areas, curb "bulb-outs" at intersections, and the occasional use of sidewalk or parkway extensions (for instance, in the vicinity of Fourth Street). Street section exhibits for Secondary Arterials are shown above. As shown above, the recommended cross-section allows for wider sidewalks and narrower travel lanes to promote walkability within the Downtown.

4.3.3 Collector/Local Streets

Dolan Avenue from south of Firestone Boulevard, and Fifth Street through the Specific Plan area, are both designated as a Collector Street in the General Plan Circulation Element. A Collector Street consists of a forty-four (44') foot-wide curb-to-curb section (two-lane roadway with parking) within a sixty (60') foot-wide right-of-way width. Dolan Avenue currently conforms to the adopted Circulation Element standard for a Collector roadway Except for the segment of Dolan north of Second Street and south of Third Street which is vacated. In contrast, the right-of-way width along Fifth Street varies between fifty and sixty (50-60') feet, while the curb-to-curb cross section is generally forty (40') feet wide.

Within the Specific Plan area are many local streets; however La Reina Avenue and Third Street are key roadways. Third Street is a two-lane east-west roadway, while La Reina Avenue includes two-lanes oriented north-south. As Local Streets, Third Street and La Reina Avenue are designed to provide access to properties fronting the street and access to adjacent neighborhoods. Local Streets are intended to be narrow with slower traffic speeds. Speeds on Local Streets, within Downtown, range between 25 to 30 miles per hour allowing for safer pedestrian movement and a local downtown feel.

The General Plan Circulation Element does not specify a typical right-of-way or curb-to-curb width for Local Streets. Recommended cross-sections that are appropriate for the Downtown have been developed that reflect wider sidewalks and the need to balance the amount of space dedicated to the automobile against the needs of various other roadway uses. As shown below, the existing right-of-way widths for Local Streets in Downtown range between thirty and sixty (30-60') feet, while the existing curb-to-curb widths vary between approximately twenty-four and forty-two (24-42') feet. Parking is generally limited to one side of the street on the narrowest local streets (e.g. Myrtle Street, between Third and Fourth Streets.)

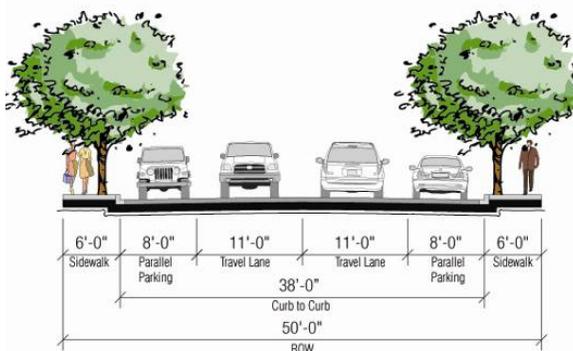


Image: Typical Right-of-Way (50') for Local Streets with parking on both sides of the street.

Street Sections: Typical 50-Foot Street sections for Local/ Collector Streets

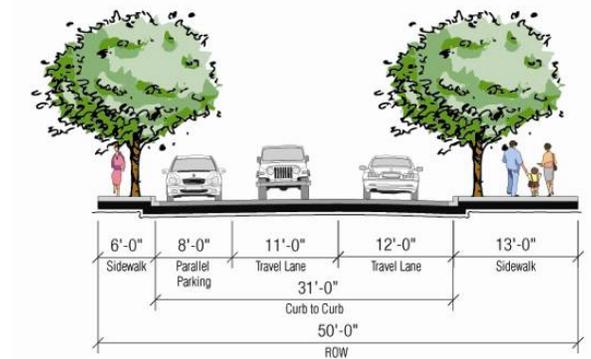
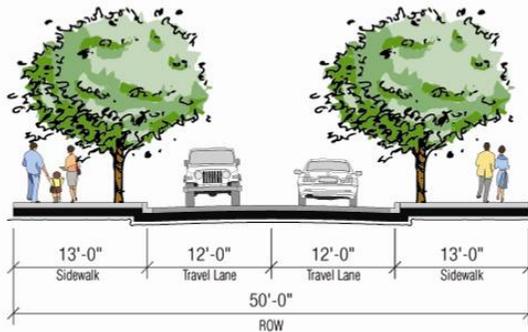


Image (left): Typical Right-of-Way (50') for Local Streets with no parking.

Image (right): Typical Right-of-Way (50') for Local Streets with parking on one side of the street.

Street Sections: Typical 60-Foot Street sections for Local/ Collector Streets

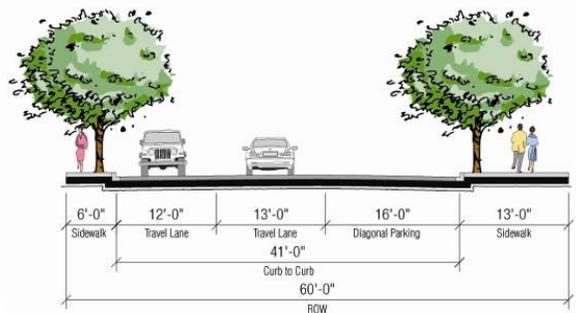
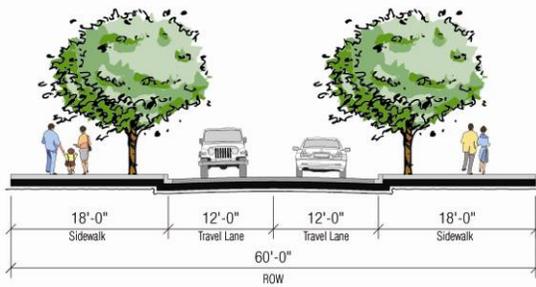


Image (left): Typical Right-of-Way (60') for Collector/Local Streets with no on-street parking

Image (right): Typical Right-of-Way (60') for Collector/Local Streets with diagonal parking on one side of the street

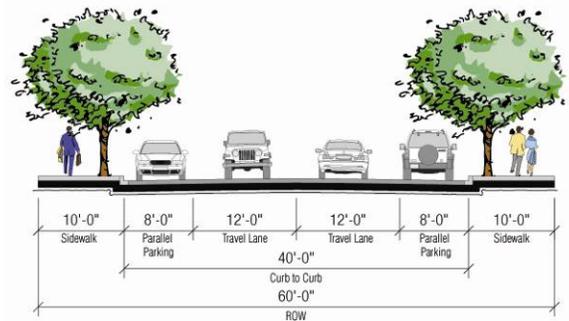
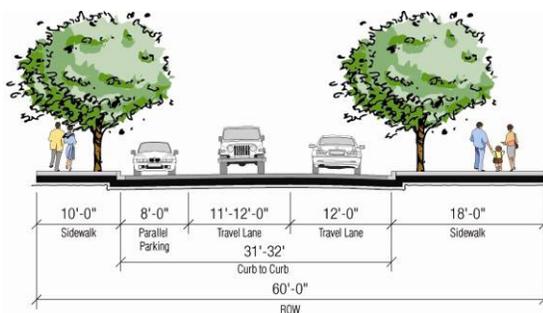


Image (left): Typical Right-of-Way (60') for Collector/Local Streets with parking on one-side

Image (right): Typical Right-of-Way (60') for Collector/Local Streets with parking on both sides of the street

4.4 Public Transportation

Within the City are several well-established public transportation options that provide access and connectivity between Downtown Downey and surrounding areas. Exhibit 4.3 shows the Metro bus and rail system that is maintained by the Los Angeles County Metropolitan Transportation Authority. Both local and rapid line services are available from the Downey Depot transit center, which is located in the southern portion of the Specific Plan area along Nance Street. The 266, 265, 115 and the 127 bus lines are all easily accessible from stops in or near the Specific Plan area. Bus services currently provide access from Downtown to the Metro Green Line (light rail service) from both the Lakewood and Norwalk stations; however access is limited and indirect.



Image: Metro Rapid Line bus picking up passengers at the Downey Depot

Exhibit 4.3: Metro Bus and Metro Rail System Map – Downey Area



Exhibit 4.3 Metro Bus and Metro Rail System Map



In addition to the Metro-operated bus and rail lines, the City of Downey also provides a local bus shuttle known as the Downey Link. There are four established routes within the City, each covering a different quadrant. The Downey Link provides crucial access to all areas of the Specific Plan area, from the center of Downtown to Paramount or Brookshire or Firestone. The presence of the Downey Link serves to decrease the need for automobiles and parking in Downtown. Each route, as shown in Exhibit 4.4, begins and terminates at the Downey Depot located on Nance Ave and travels through Downtown as it starts its route. Transit service connectivity would be greatly enhanced by providing a direct connection to the Metro Green Line via one or more of the Downey Link Bus Routes.

Exhibit 4.4: Downey Link Bus Routes

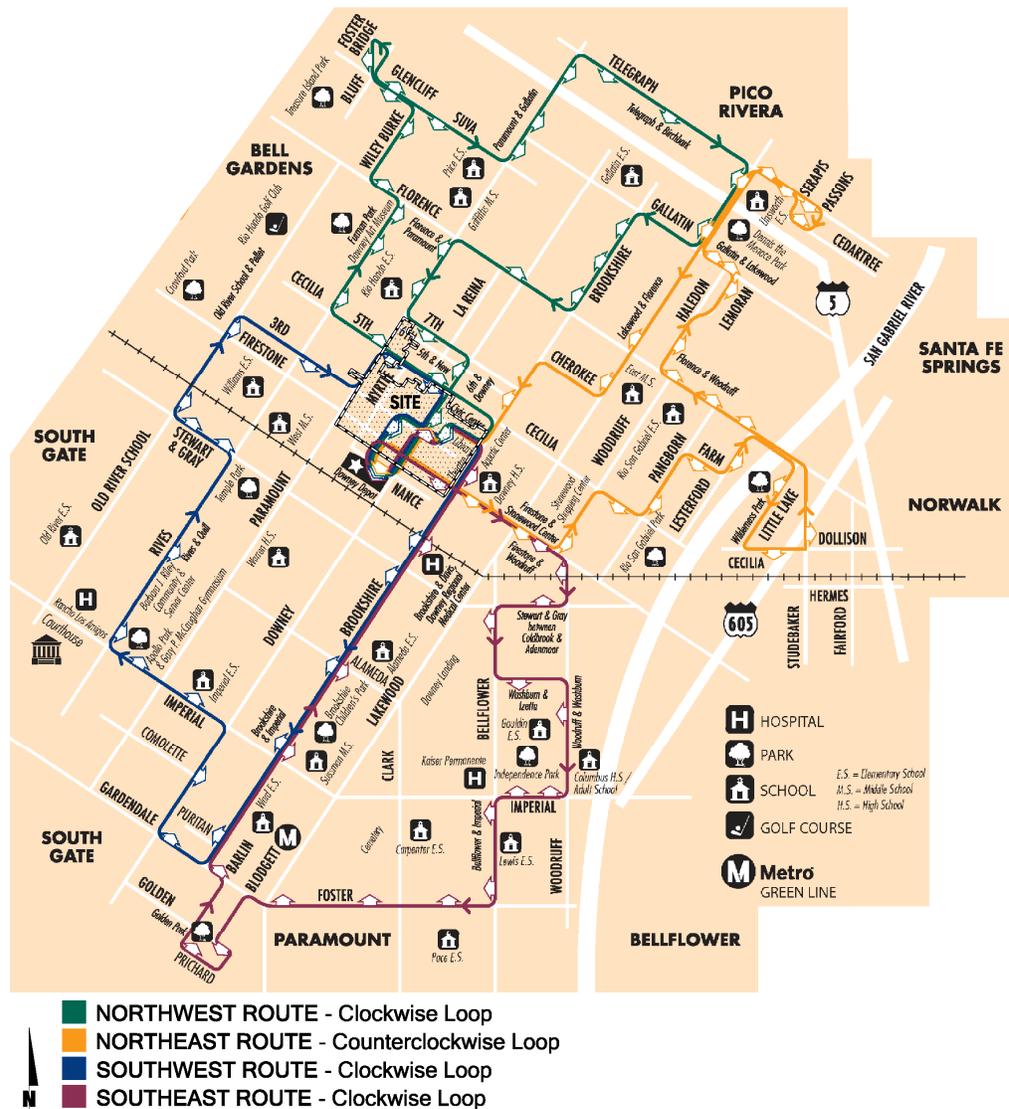


Exhibit 4.4
Downey Link Bus Routes
 Section 4 Mobility Plan

4.5 Pedestrian Mobility

Alternative modes of transport generally provide a more efficient, less costly method of providing for the mobility needs of the residents and workers of a community. It is necessary to provide both adequate facilities and a carefully considered (planned) mix and density of land uses to maximize the efficiency of the transportation system. The following recommendations address the needs of a variety of alternative transportation modes that can increase mobility and reduce potential environmental impacts.

Exhibit 4.5: Street Design Features



Exhibit 4.5 Street Design Features

Section 4 Mobility Plan

Pedestrian facilities should be provided throughout Downtown. A comprehensive sidewalk system promotes pedestrian safety and access to help ensure that the community will be a safe, convenient, and attractive place to walk. Providing sidewalks along all of the roadways within Downtown and through the Civic Center area establishes a pedestrian network emphasizing safe routes to school and connections to transit. The routes include walkways that connect schools, parks, neighborhoods, and commercial districts throughout Downtown. Exhibit 4.5 presents the recommended street features for Downtown Downey. These features provide specific large-scale infrastructure improvements that can enhance mobility throughout the project area.

Exhibit 4.5 identifies two key pedestrian corridors, Downey Avenue and Third Street. Sidewalks along these routes should be maximized or augmented to reinforce their role as “people spaces” that encourage vibrant, mixed-use activities. Downey Avenue’s current design already reflects this type of emphasis. Exhibit 4.5 also identifies regional and local transit corridors, indicating the current location of the transit center from the southern edge of the Downtown Downey Specific Plan area to a more central/accessible location near the Civic Center. Consequently, roadways identified as regional transit corridors should be designed to accommodate Metro buses, while the local transit corridors should be designed to accommodate the vehicles used by the Downey Link system.

Street design features to calm traffic, identified in Exhibit 4.5, are illustrated in Exhibit 4.6. Sample measures include intersection curb extensions and raised crosswalks. Intersection curb extensions are recommended at most of the roadway intersections within Downtown. These extensions both promote pedestrian activity (by reducing the crossing distance at intersections) and also serve as traffic calming devices (by reducing the width of the roadway). Raised crosswalks can also enhance pedestrian safety and reduce vehicular speeds. Raised crosswalks are recommended on Second Street and Third Street between Myrtle Street and La Reina Avenue, as the distance between cross streets is long and the roadways in question are within the Downtown Core.

Recommendation:
Raised crosswalks are recommended on Second Street and Third Street between Myrtle Street and La Reina Avenue

Exhibit 4.6: Detailed Street Design Features

Image (right): To promote safe pedestrian crossing at major intersections in the Specific Plan area, sidewalk bulb-outs will be incorporated into sidewalk design and crosswalk lines will be added to communicate to drivers that pedestrians have the right-of-way.

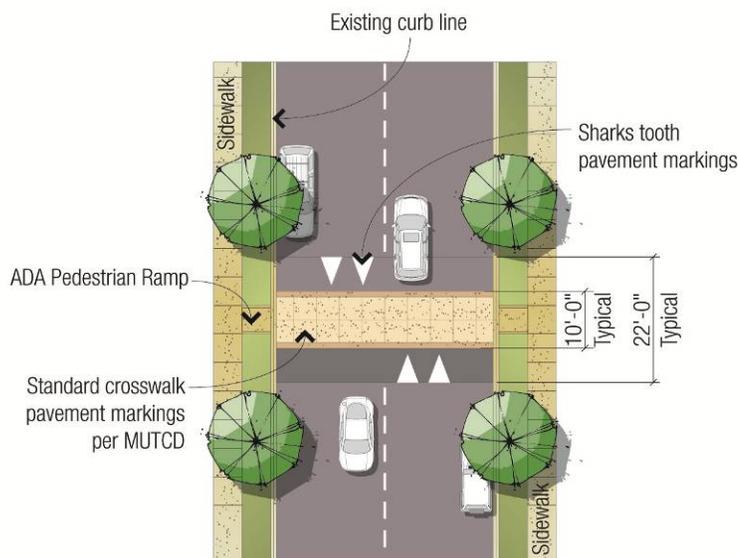
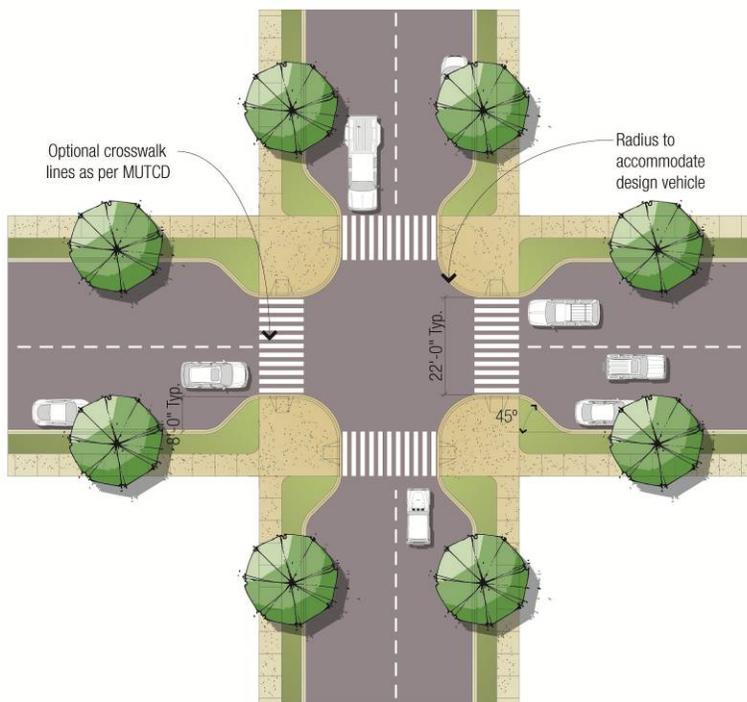


Image (left): To promote safe pedestrian crossing across roadways in the Specific Plan area, unique paving will be used to communicate to drivers that pedestrians have the right-of-way. Adding sharks tooth pavement markings will serve to notify drivers of the location of crosswalks and service as a traffic-calming device.

Exhibit 4.6 Detailed Street Design Features

Section 4 Mobility Plan

4.6 Bicycle Mobility

Bicycle use in Southern California generally has been limited to recreational and exercise use, however an increasing number of residents are beginning to commute to work by bike. Exhibit 4.7 illustrates the existing bicycle trail system within the region, which includes the Rio Hondo River trail and San Gabriel River trail.

Exhibit 4.7: Regional Bicycle Trails and Connections

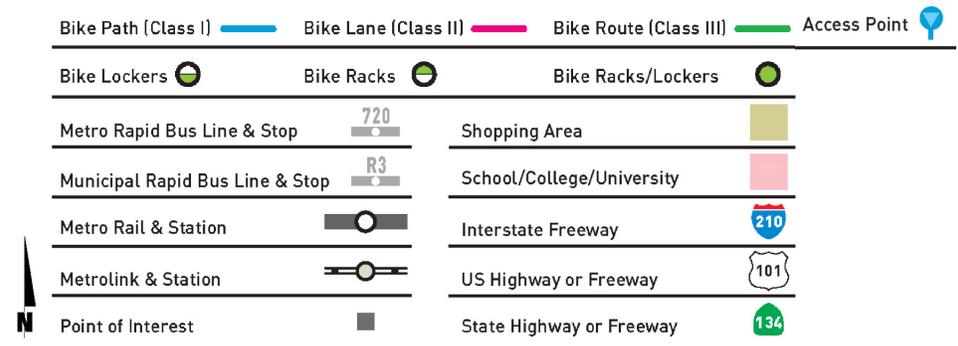
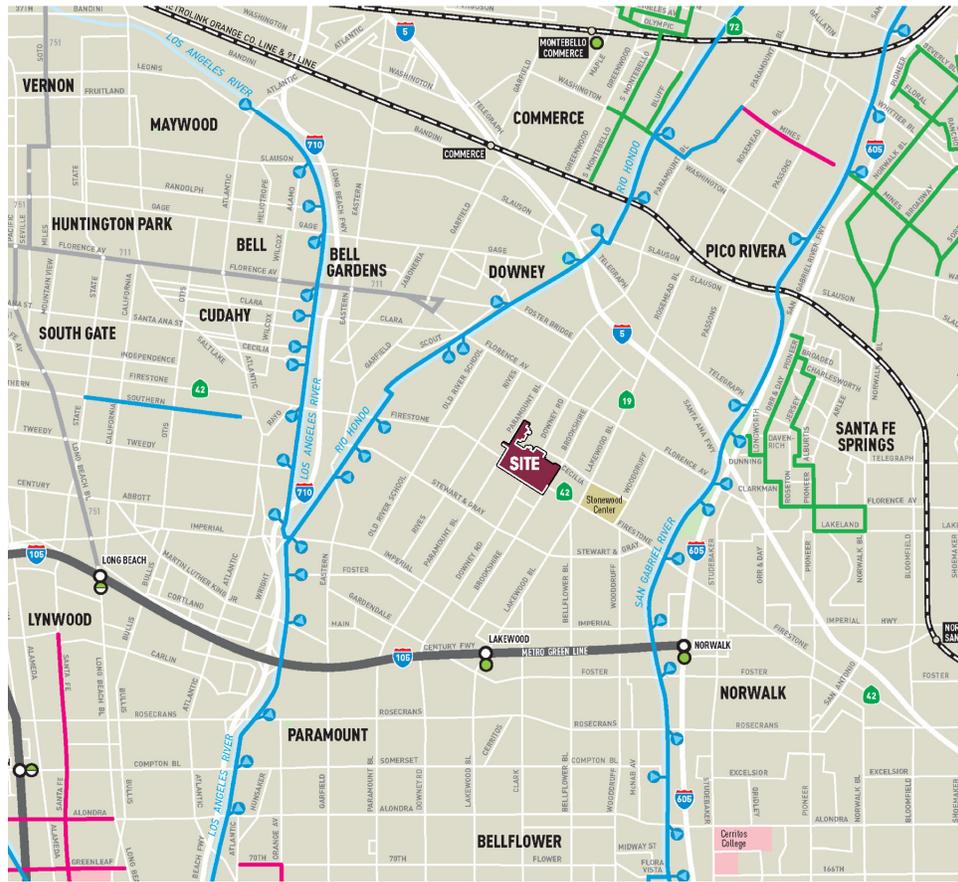
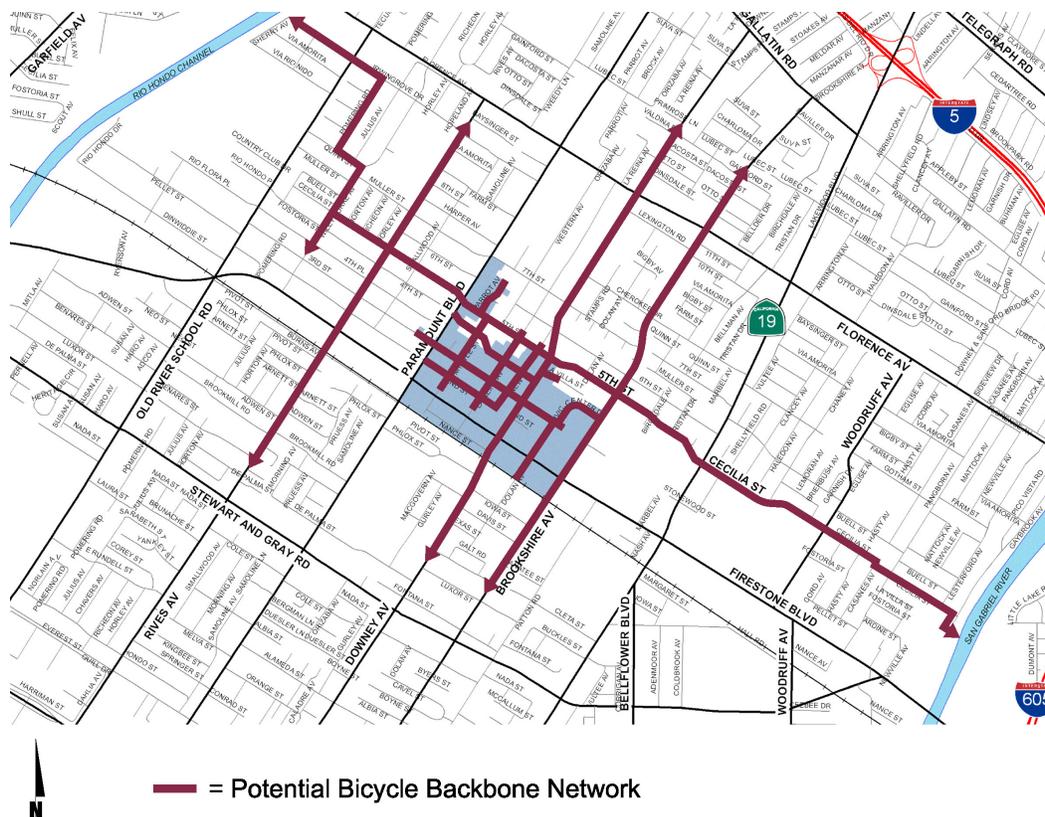


Exhibit 4.7
Regional Bicycle Trails and Connections
 Section 4 Mobility Plan

Although the City of Downey has not developed a bicycle master plan, the Downtown Downey Specific Plan can serve as a catalyst for creating such a plan. Exhibit 4.8 depicts a recommended bicycle backbone network that would provide access from the greater City of Downey community into the Downtown. Bicycling is an economical and healthy alternative mode of transportation. The mild local climate and relatively flat topography makes the bicycle an attractive alternative for local residents and visitors.

Exhibit 4.8: Proposed Downtown Bicycle Network



Design standards for bikeways are primarily based upon guidelines established by Chapter 1000 – "Bikeway Planning and Design" of the Caltrans Highway Design Manual. The Caltrans manual includes the following types of bikeways:

- ▶ Class I Bikeway: Provides for bicycle travel on a paved right-of-way completely separated from streets or highways. Often referred to as an off-street bike trail.
- ▶ Class II Bikeway: A striped on-street bike lane for one-way bicycle travel within the roadway.
- ▶ Class III Bikeway: An on-street bike lane for one-way bicycle travel within the roadway that is identified solely by signage and allow for bicyclists to use streets jointly with motor vehicle traffic.

Exhibit 4.8
Proposed Downtown Bicycle Network
Section 4 Mobility Plan

Image: Bicycle lanes incorporated into an urban neighborhood

The majority of the routes depicted on Exhibit 4.8 are Collector/Local Streets, and treatment as Class III (signed) bike routes is expected to provide adequate safety for all road users. Bicycle routes along Downey Avenue and Brookshire Avenue would benefit from more visible identification and control measures. The most prevalent and traditional method of accommodating bicyclists on this type of roadway is through providing an explicit (striped) Class II bike lane. However, alternatives such as the concept of “shared space” which has been implemented by the City of Long Beach and includes additional pavement markings that emphasize the shared nature of the roadway, are also worthy of consideration within and around the Specific Plan area. The east-west facilities depicted along Fifth Street and Cecilia Street east and west of Downtown are intended to provide access to the Class I facilities along the San Gabriel River and Rio Hondo Channel.



Image: Bicycle lanes incorporated into a suburban area



Bicyclists vary significantly in their skill level, comfort with cars and traffic, reasons for bicycling, and common destinations. All of these factors can affect what facilities a cyclist will use and value, and how a cyclist will use those facilities. The following definitions help to describe and assess the different needs of the cycling public; however, most bicyclists have attributes of multiple types of bicyclists.

▶ **Casual Bicyclist.** Includes those who feel less comfortable negotiating traffic, often bicycle shorter distances than experienced riders, and may be unfamiliar with many of the rules of the road. Casual bicyclists benefit from route markers and way finding signage, bicycle lanes, wider curbs, and educational

programs.

▶ **Commuter Bicyclist: Employee.** Bicycle commuters who ride to work, making their entire commute by bicycle or by using their bicycle to link with other modes of transportation including buses, trains, or carpools and rideshares. Commuter bicyclists value direct routes between

residential and employment areas, safe and secure bicycle parking facilities, and locker and shower facilities at their place of employment.

- ▶ **Commuter Bicyclist: Student.** Bicyclists who travel to and from their home and their grade school, college, or university. Grade school bicycle commuters typically commute less than five miles to school, cross few arterials, and often use the sidewalk. College and university students are likely to bicycle less than five miles as well, but may travel as long as ten to fifteen miles. Like employee commuters, student commuters are likely to value direct routes, and may be more likely than employee commuters to prefer routes with less traffic and arterial crossings.
- ▶ **Experienced Bicyclist.** Includes those who prefer the most direct route between origin and destination and prefer riding within or near the vehicle travel lanes. Experienced bicyclists negotiate streets in much the same manner as motor vehicles, merging across traffic to make left turns, and avoiding bicycle lanes and shoulders that contain gravel and glass. Experienced bicyclists benefit from wider curb lanes and bicycle-actuated loop detectors at signals.
- ▶ **Recreation Bicyclists: Casual Bicyclist.** Casual recreational cyclists are those who generally want to ride on off-street bikeways and cover shorter trip distances at slower speeds. Casual cyclists will tend to take trips of less than 10 miles in length, and may ride as a family group with children. Recreational destinations are also important for casual cyclists, as they provide a place to stop and get off the bike. To this end, having secure bicycle parking at destinations is important.
- ▶ **Recreational Bicyclists: Road Bicyclist.** Road cyclists bicycle almost exclusively on roadways, which accommodate higher speeds, longer distances, and few conflicts with other recreational users. Typical trip distances for the road cyclist can range from 10 miles to over 50 miles. While the average road cyclist would likely prefer to ride on roads with little or no traffic, they are generally comfortable riding in traffic if necessary. To this end, a road cyclist will tend to ride in a manner similar to a motor vehicle (e.g., when approaching traffic signals or making left turns). Road cyclists are typically not seeking a recreational destination along the route, as a ride itself is the recreation.

Bicycle amenities are physical items provided to serve the bicycling community and enhance safety and enjoyment. Bicycle amenities include landscaping,



Image:
Signage directing drivers and bicyclists

lighting, rest stops, and end-of-trip facilities. The following definitions are used to describe the types of amenities recommended within Downtown:

- ▶ **Class I Bicycle Parking Facilities.** Class I bicycle racks are stationary storage racks designed to secure the frame and both wheels of the bicycle, where the cyclist supplies only a padlock. Additionally, enclosed bicycle lockers, staffed bicycle "barns" or bicycle parking lots, unstaffed bicycle "barns" or lots that are accessible only to an exclusive set of users, or any other facilities with a locking mechanism that is not provided by the bicycle user are also considered Class I bicycle parking facilities. Class I bicycling parking facilities are recommended at the Downey Depot and the near Civic Center.
- ▶ **End of Trip Facilities.** Includes bicycle lockers, bicycle racks, and locker rooms and shower rooms that bicyclists may require at their destinations. End of trip facilities are especially important to bicycle commuters and are usually provided by employers.
- ▶ **Rest Amenities.** Includes drinking fountains, benches, picnic tables and lawn areas that directly serve users of the on-street or off-street bikeway system. Rest amenities are important for less experienced bicyclists, families bicycling with children, walkers, joggers, and seniors using the bikeway to network. These facilities should be provided within the various park and open space amenity areas.



Image (left): A Bike Station offering bicycle storage, showers and other end of ride facilities

Image (right): Bicycle lockers for storage while at work, school or in between rides

4.7 Neighborhood Electric Vehicles

An innovative alternative mode of transport recommended for consideration for Downtown is the neighborhood electric vehicle (NEV). Section 385.5 of the California Vehicle Code (CVC) defines a Low Speed Vehicle (LSV) as a motor vehicle, other than a motor truck, having four wheels on the ground that is capable of propelling itself at a lowest maximum speed of 20 miles per hour and a highest maximum speed of 35 miles per hour, on a paved level surface. Because only electric-powered LSVs are sold in California, all LSVs in California are also referred to as "Neighborhood Electric Vehicles."



Image: The GEM Peapod Neighborhood Electric Vehicle made by Chrysler

As shown in Exhibit 4.2, all roadways in the Specific Plan area, with the exception of Paramount Boulevard, have a maximum identified speed of 35 miles per hour or less. Consequently, the Specific Plan is an opportunity for the City to encourage and develop a NEV network that allows for electric vehicles to travel around the Downtown area by right. A potential NEV backbone network is illustrated in Exhibit 4.9.

Exhibit 4.9: Proposed Neighborhood Electric Vehicle Network

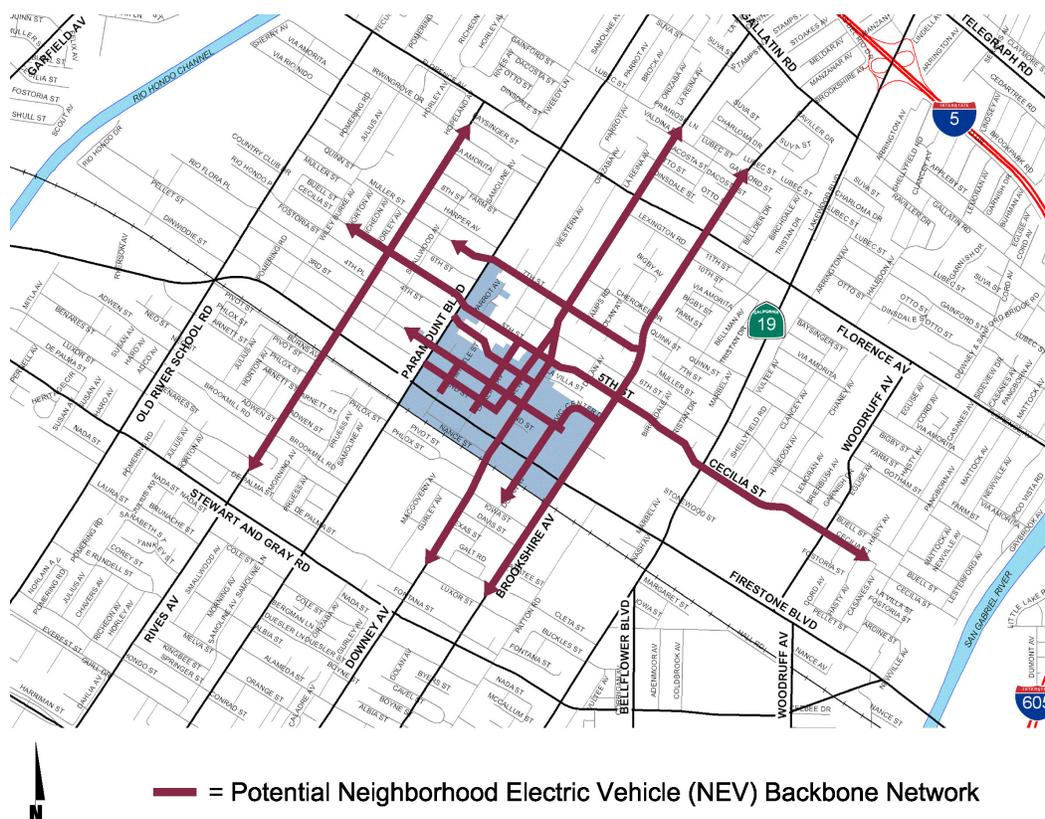


Exhibit 4.9

Proposed NEV Network

Section 4 Mobility Plan

4.7.1 State Regulations for NEVs

- ▶ **CVC Section 2160 (a)** notes that NEVs can be operated on any roadway with a speed limit of 35 miles per hour or less (unless allowed by separate legislative action). None of the backbone facilities shown on Exhibit 4.9 have a speed limit in excess of 35 MPH.
- ▶ **CVC Section 2160 (l)** allows NEVs to cross a roadway with a speed limit in excess of 35 miles per hour if the crossing begins and ends on a roadway with a speed limit of 35 miles per hour or less and occurs at an intersection of approximately 90 degrees. However, NEVs can only cross a state highway with the approval of the agency having primary traffic enforcement responsibilities.
- ▶ **CVC Section 21266 (b)** enables local law enforcement or the California Highway Patrol to prohibit the operation of NEVs on any roadway under its jurisdiction in the interest of public safety. Signs must be erected giving notice that NEVs are prohibited. Drivers of NEVs must hold a valid California Drivers License. NEVs must be registered and licensed with California State Department of Motor Vehicles
- ▶ **Assembly Bill No. 2353** was enacted in September 2004 to allow specified cities to develop "Neighborhood Electric Vehicle Plans" so that the NEVs could operate on public streets with speed limits greater than 35 miles per hour. Only two cities are currently named in AB 2353, the City of Lincoln and the City of Rocklin. NEVs operated on streets with speed limits greater than 35 mph must be operated in their own striped lane separate from general traffic. Jurisdictions that are interested in allowing NEVs to operate on streets with greater than 35 miles per hour limits (subject to a community NEV plan), must have legislative approval. Again, none of the backbone facilities shown on Exhibit 4.9 have a speed limit in excess of 35 MPH.

4.7.2 Benefits of NEVs

The NEV has the potential to be a valuable local transportation component within Downtown. It will offer residents the ability to circulate within Downtown and also to access Downtown from other parts of the City without having to start an internal combustion powered automobile engine. The NEV can be an enjoyable mode to reach nearby commercial and activity centers in Downtown, and to visit neighbors.

The benefits of NEVs include the following:

- ▶ Relatively inexpensive vehicle to own and operate
- ▶ Particularly well suited to trip lengths of 10 miles or less
- ▶ NEVs do not contribute to the air pollution caused by the cold-starts and operation of typical high speed autos

- ▶ NEVs achieve an "energy equivalent" of 150 mpg (based upon 2002 California Energy Commission report)
- ▶ By using solar or wind power to generate the electricity for these vehicles, they have potential to run fossil fuel free



In the future, there will be an expanded array of mobility options for residents to travel beyond the community. The NEV can play a central role in reaching the Downey Depot to conveniently access these mobility extensions.

The modern NEV can travel 30 miles between charges. They plug into any 110V outlet, in a garage, or at an outlet at a neighborhood commercial center. Any NEV parking site that would have NEVs parked for several hours would likely benefit from available charging infrastructure. It is recommended that new parking facilities in Downtown accommodate NEVs and provide for NEV infrastructure.

4.8 Mobility Recommendations

Recommendations have been developed to improve mobility in the Downtown Downey Specific Plan area. The roadway system should be enhanced in general through implementation of the cross-sections presented in Section 4.3 of this chapter. In addition, specific roadway improvements have been identified in the Downtown Downey Traffic Study and are recommended to maintain acceptable levels of service in conjunction with ongoing development. With regards to mobility in the Specific Plan area, the recommended improvements include:

- ▶ At the intersection of Paramount Boulevard and Firestone Boulevard, three through lanes should be implemented on the northbound, southbound, and eastbound approaches to the intersection. The through lanes will replace right turn lanes and will require elimination of parking. Parking restrictions could be restricted to peak hours of traffic flow.
- ▶ A traffic signal will be necessary at the intersection of Downey Avenue at Second Street to maintain acceptable levels of service at this location.
- ▶ At the intersection of Brookshire at Firestone Boulevard, a third southbound through lane should be implemented.
- ▶ Although the recommended improvements listed above are necessary to achieve an acceptable level of service, certain improvements are inconsistent with the broader goals of the Specific Plan. Therefore, the

Image: The E-Car-01 Neighborhood Electric Vehicle made by Roketa offers many features of a regular car.

Specific Plan should implement a program for monitoring conditions at the locations for recommended improvement and potentially fund alternative improvements such as traffic signal coordination, ridesharing, transit information kiosks, etc, or improve the infrastructure for alternative modes of transport (walking, bicycling, and neighborhood electric vehicles)

- ▶ A third eastbound through lane is required at the intersection of Downey Avenue at Firestone. This could be accomplished by eliminating parking. Parking restrictions could be restricted to peak hours of traffic flow and still achieve an acceptable level of service.

Several enhancements are also recommended with respect to the transit system serving the Downtown Downey Specific Plan area:

- ▶ The Downey Depot should be relocated from the fringe of the downtown area to a more centralized location in the vicinity of the civic center.
- ▶ Additional transit amenities in the form of bus shelters and turnouts should be provided for the bus routes that serve the downtown area.
- ▶ The Downey Link routes that serve the southern portions of the City of Downey should provide one or more direct connections to the Metro Green Line fixed rail service at the Lakewood at I-105 and / or the Norwalk at I-105 Green Line stations.

5

Parking Plan

City of Downey

Downtown Specific Plan



5. Parking Plan

This chapter addresses the existing and future parking requirements for the Downtown Downey Specific Plan area. Parking demand varies greatly by time of day and day of week and is influenced by numerous factors, including the types and quantities of land uses within an area, the cost of parking, and the availability of alternative modes of transport to the automobile. Downtown Downey is characterized by a variety of land uses that are located in close proximity to one another. This provides an opportunity for shared parking, as the peak parking demand for different types of land use often occurs at different times of day or days of the week.



Image: The City-owned parking structure is located at the corner of Second Street and New Street.

Typical parking code requirements, including the City of Downey parking code, require that each individual use provide adequate parking to meet its own individual peak parking demand. This approach is appropriate for suburban or other settings where large areas of relatively homogenous land uses occur. When this approach is applied to a downtown or other mixed-use setting, it often results in an excess of land and/or infrastructure devoted to parking.

The objective of the Parking Plan is to establish an appropriate and efficient approach to providing adequate parking for the overall Downtown area and the anticipated mix of land uses within the area. In order to accomplish this objective, this section presents existing and projected future parking demand for the Specific Plan area and provides adjustments to the City of Downey parking code requirements to meet the needs of Downtown.

Image:
Signage
indicating City-
owned parking
lots are present
throughout
Downtown.

The approach used to estimate existing and future parking demand accounts for the land use specific peaking characteristics of parking demand. Parking is a key element in any project design. Shared parking occurs when a single parking space is used to serve two or more individual land uses without conflict. The shared parking concept reflects the fact that parking requirements for different land uses vary by time of day (hourly), day of the week, and seasonally (month of the year). Interactions amongst mixed land uses within a project site/area, the location of the project with respect to other potential modes of transportation and even a project's interaction with surrounding land uses can also reduce the on-site parking needs of an individual project. This concept has been applied to Downtown Downey.



Image:
Signage
indicating City-
owned parking
lots are present
throughout
Downtown.



Data contained in the publication Shared Parking 2nd Edition (Urban Land Institute, 2005) has been used to establish the hourly, daily, and monthly variation in parking demand for the various land uses currently in place or proposed in the Downtown Downey Specific Plan area. This data, combined with data collected or estimated pertaining to travel mode choice and internal capture of trips, has been used to estimate the peak parking demand for the overall Downtown area under existing conditions and future conditions with the proposed Specific Plan land uses.

The resulting information has then been used to develop a recommended strategy for accommodating the projected future parking demand through a combination of public and private parking supply.

5.1 Existing Conditions

Existing parking conditions in the Downtown have been evaluated in terms of a survey quantifying the existing supply of and demand for public parking spaces, an estimate of the overall Downtown parking requirement in accordance with City of Downey parking code requirements, as well as estimating the overall shared parking demand for the Downtown Downey Specific Plan area.

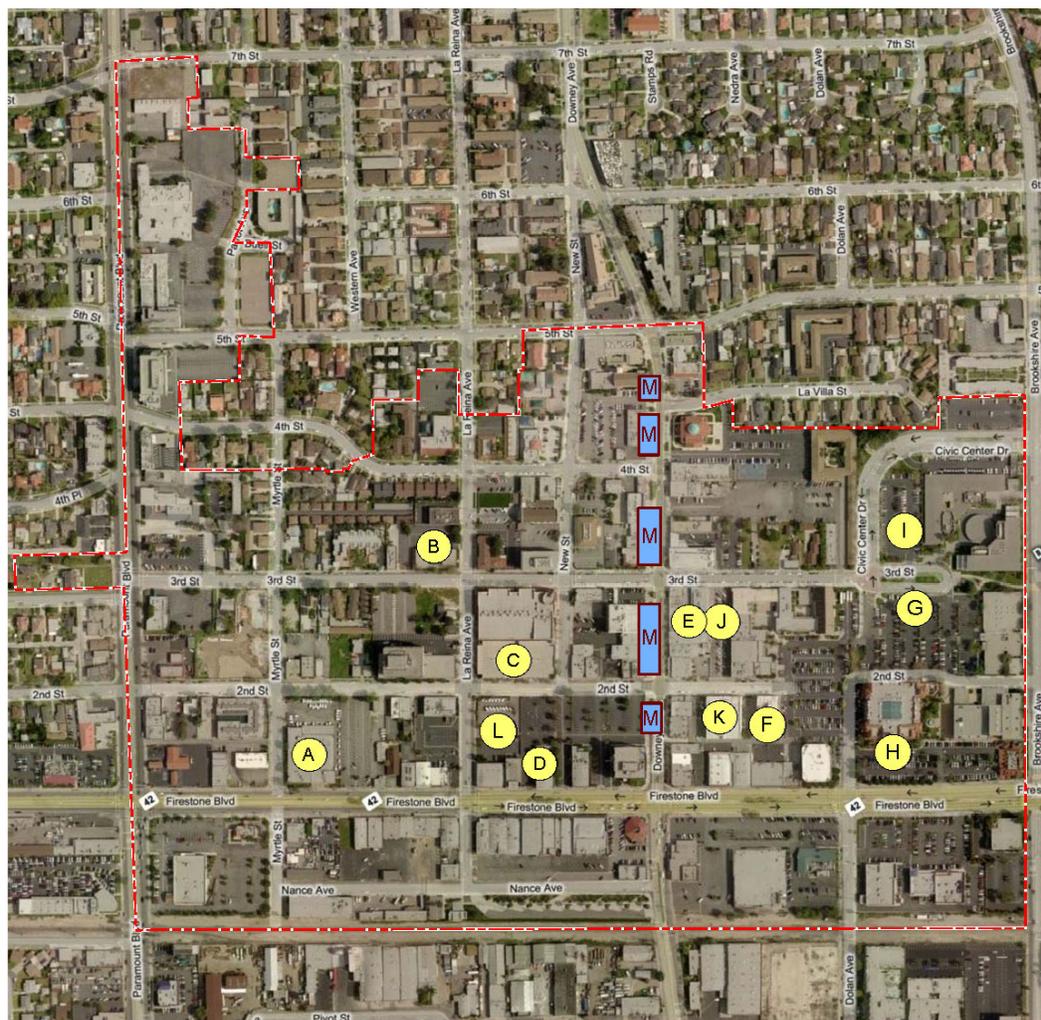
5.1.1 Existing Public Parking Supply

The existing public parking supply and demand data was collected under the direction of City of Downey staff (August 2008). The locations of the various public parking lots within the Downtown Specific Plan area are shown on Exhibit 5.1. The

largest public parking lot is a parking structure that includes 399 parking spaces and is located north of Second Avenue between La Reina Avenue and New Street. The other parking lots shown on Exhibit 5.1 provide between 21 parking spaces (Verizon Building lot) and 94 parking spaces (Post Office lot). The total capacity of these public parking lots is 684 parking spaces.

Additional public parking is provided along the various public streets. Exhibit 5.2 depicts the locations where parking is and is not currently allowed within Downtown. An additional 356 on-street parking spaces are also available in Downtown, resulting in a total public parking supply of 1,040 spaces.

Exhibit 5.1: Existing Parking Lots/Structures



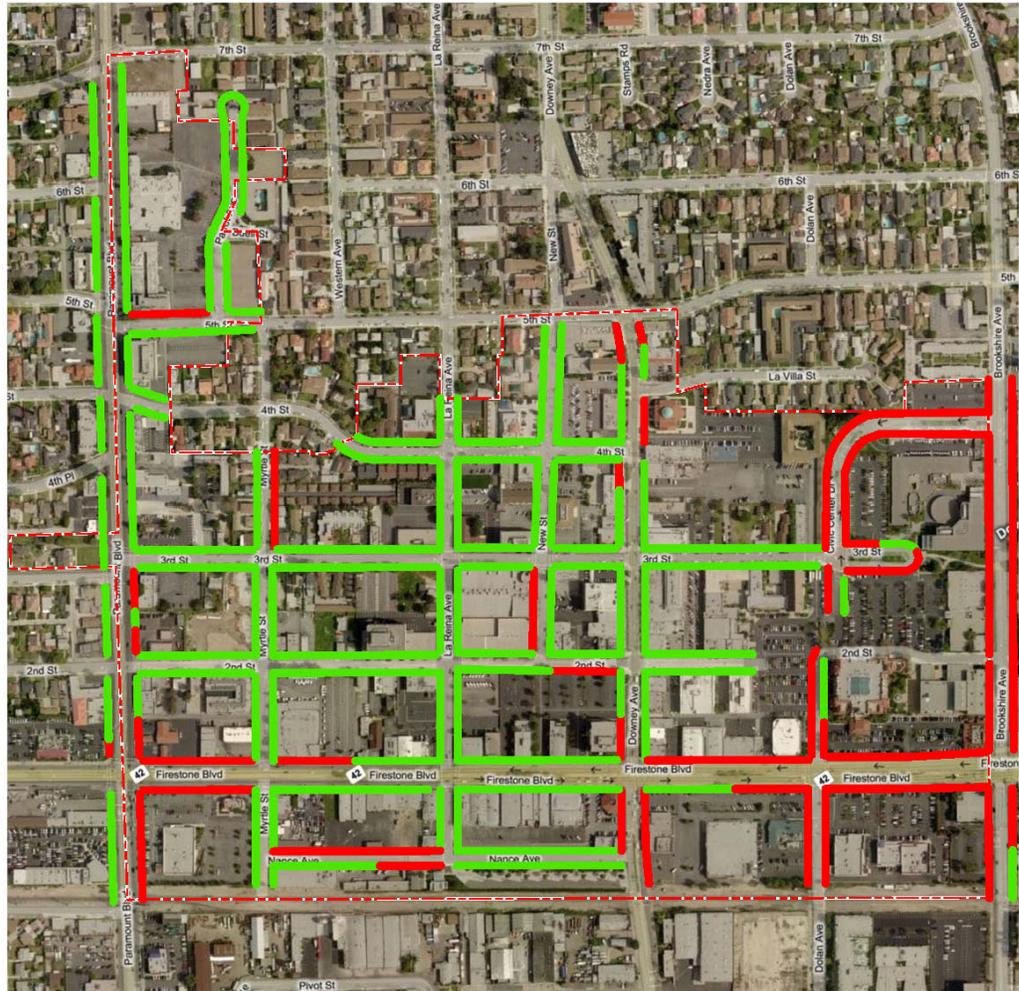
LEGEND:

- | | | |
|-----------------------------------|---------------------------|---|
| A POST OFFICE | C PARKING LOT # 3 | M DOWNEY AVENUE ON-STREET PARKING |
| B BANK OF AMERICA BUILDING | H EMBASSY | (SEE EXISTING ON-STREET PARKING LOCATIONS DETAILED DOWNEY AVENUE INFORMATION) |
| C KRICKORIAN STRUCTURE | I PARKING LOT # 2 | |
| D AAA | J PARKING LOT # 5 | |
| E AVENUE THEATER | K PARKING LOT # 10 | |
| F VERIZON BUILDING | L PARKING LOT # 9 | |



Exhibit 5.1
Existing Parking Lots/Structures
Section 5 Parking Plan

Exhibit 5.2: On and Off Street Parking



LEGEND:

- ON-STREET PARKING PERMITTED
- ON-STREET PARKING PROHIBITED



Exhibit 5.2
On and Off Street Parking
Section 5 Parking Plan

5.1.2 Existing Parking Requirements

The overall supply of parking within Downtown is regulated by the City of Downey Zoning Code and Downtown Plan (October, 2000). Table 5.1 summarizes the City of Downey Zoning Code and Downtown Plan parking requirements.

The Downtown Plan does not specifically address residential parking requirements. The Downtown Plan parking requirements for non-residential uses are generally reduced compared to the overall City of Downey parking code. The reduction is generally in the range of 15-20% for office and industrial uses. The Downtown Plan parking requirement for general commercial and restaurant uses reflects a 50% reduction in the required parking.

Table 5.1: City of Downey Parking Code Summary

Land Use	Downey Municipal Code Standards Chapter 7 - Parking			Downtown Plan (October 24, 2000) Requirements		
	Required # Parking Spaces	Per Listed Unit ¹	Notes	Required # Parking Spaces	Per Listed Unit ¹	Notes
Single Family Residential	2 to 4	DU	Parking space requirement depends on square footage (2 spaces required for < 2,999 SF). Assume 2 spaces/DU is generally applicable to single family homes in Downtown	NA	NA	No Residential rates provided
Multifamily Residential	2.5	DU	Requirement is 2 covered spaces within a garage; plus 0.5 guest parking spaces per unit	NA	NA	No Residential rates provided
General Commercial	1	250 SF	--	1	500 SF	--
Hotel	See notes	Room	1 per each room; plus 1 per each 5 rooms	see notes	ROOM	1 per room; plus 1 per 5 rooms. For rooms with kitchens, 2 per room.
Movie Theatre	1	per 4 seats	--	1	5 seats	--
Restaurant	1	100	For Restaurants > 200 SF	1	200 SF	Outdoor dining = 1 space for every 300 SF
Church	1	4 seats	Churches should ideally have their own parking lots and should not be considered for this calc.	see notes	-->	1 per 5 persons allowed within the maximum occupancy load for the assembly/activity area
Medical Office	1	200	--	1	250 SF	Minimum 3 spaces

Professional Office	1	300	--	1	350 SF	Minimum 3 spaces
Industrial	1	300	--	1	350 SF	Minimum 3 spaces

¹ DU = Dwelling Units; SF = Square Feet

5.2 Existing Public Parking Supply and Demand

Existing parking demand for the various public parking facilities previously presented on Exhibit 5.1 and Exhibit 5.2 was collected in August, 2008. Data was collected during representative hours of the day for both weekday and weekend conditions. Data was collected for mid-morning (10:00 AM), mid-afternoon (3:00 PM) and evening (8:00 PM) conditions.

Table 5.3 summarizes the existing public parking supply and demand for both weekday and weekend conditions. The total supply of public parking surveyed is 1,040 parking spaces.

Table 5.3: Existing Public Parking Supply and Demand Summary

All Public Parking Lots and Structures	WEEKDAY Time of Day			WEEKEND Time of Day		
	10–11 AM	3-4 PM	8-9 PM	10–11 AM	3-4 PM	8-9 PM
Available Spaces	1040	1040	1040	1040	1040	1040
Occupied Spaces	299	442	213	331	314	265
% Occupied	28.75%	42.50%	20.48%	31.83%	30.19%	25.48%

The peak weekday demand occurs during the early afternoon, with a total demand of 442 parked vehicles. This represents approximately 42.5% utilization of the overall public parking supply. A surplus of at least 598 public parking spaces is present in the downtown area throughout the typical weekday.

The peak weekend demand occurs during the morning time frame, with a better balance of demand occurring throughout the day. The peak (morning) total demand is 331 parked vehicles in public parking spaces. This represents approximately 32% utilization of the overall public parking supply during peak weekend conditions.

5.3 Future Conditions

Future parking conditions in the Downtown with implementation of the Downtown Downey Specific Plan have been evaluated in much the same manner that was used to evaluate existing conditions. The parking requirement per the City Downey Zoning Code and Downtown Plan has been calculated. The future parking demands based upon the ULI shared parking methodology have also been evaluated for the Downtown Downey Specific Plan land uses.

5.3.1 Projected Future Parking Supply and Requirements

The parking that would be required for non-residential, non-church uses in the overall downtown area under proposed Downtown Downey Specific Plan conditions is 14,066 spaces. This represents an increase of 8,100 parking spaces compared to the existing requirement of 5,966 parking spaces. The majority of the increased parking requirement is attributable to general commercial (over 1.6 million square feet) and restaurant (over 293,000 square feet) land uses.

When the ULI maximum parking supply requirements for either weekday or weekend is considered, the overall maximum for Downtown non-residential uses (excluding churches) is 16,427 parking spaces.

Similar to the result for existing conditions, the overall City of Downey parking requirement is similar to the weekday and weekend maximum supply requirement per ULI. For this reason, the ULI parking ratios, which are slightly more conservative, have been used to calculate the overall shared parking demand.

5.4 Recommendations

This section of the Specific Plan presents recommendations to modify parking requirements for Downtown Downey and the design, management and operation of parking facilities to maximize the opportunities for shared parking and to accommodate special events in Downtown.

5.4.1 Downtown Downey Specific Plan Parking Requirements

The recommended parking requirements for the Downtown Downey Specific Plan are shown in Table 5.4. The Downtown Downey Specific Plan requirements are based on the benefits of shared (joint use) parking and the existing surplus of parking available within the Specific Plan area. The recommended parking requirements for general commercial and restaurant uses are more stringent than the requirements included in the Downtown Plan (October, 2000). If the City of Downey wishes to retain the reduced requirement for these uses, it would be necessary to provide additional public parking beyond that funded through parking assessment districts to address the eventual shortfall in parking supply. It would also be necessary to monitor the downtown parking and supply on a regular basis.

Table 5.4 Downtown Downey Specific Plan Parking Requirements

Land Use	Required # Parking Spaces	Per Listed Unit ¹	Notes
Single Family Residential	Per City Std.	DU	Refer to Municipal Code Section 9708
Multifamily Residential (owned)	1.7	DU	Tandem parking should be allowed in cases where multiple spaces are assigned to a single unit. Guests will utilize off-site (public) parking
Multifamily Residential (rental)	1.5	DU	Tandem parking should be allowed in cases where multiple spaces are assigned to a single unit. Guests will utilize off-site (public) parking
General Commercial	1	500 SF	
Hotel	1	Room	--
Movie Theatre	1	5 seats	--
Restaurant	1	200 SF	
Church	see notes	-->	1 per 5 persons allowed within the maximum occupancy load for the assembly/activity area
Medical Office	1	250	
Professional Office	1	350	

5.4.2 Parking Waiver

Notwithstanding other provisions of this Specific Plan, all or a portion of the off-street parking required for non-residential uses may be waived by the City Planner if the following findings are made:

- ▶ The owner or occupant of the property, on which the waiver is to be applied, agrees to pay to the City an amount to be determined by the City Council for each automobile storage space to be waived and,
- ▶ That the development of parking on the property for which the waiver is sought, in accordance with the requirements of this article for off-street parking, would preclude the development or use of such property; and,
- ▶ Granting the waiver to allow the development or use is necessary to achieve the goals of the Specific Plan.

- ▶ For the purposes of this section, when a new use occupies space in an existing building, the new use shall obtain approval of a parking waiver for any increase in parking demand above the previous use in the building.
- ▶ All money received by the City pursuant to the provisions of this section shall be used for the purpose of providing for, or facilitating the use of, public off-street parking within the boundaries of the Downtown Downey Specific.

5.4.3 Downtown Downey Parking Facility Design, Management, and Operation Recommendations

The City of Downey already manages a supply of public parking in the form of on-street and off-street parking. Additional parking should be located in close proximity to the associated land uses wherever possible. The City zoning code conditionally permits off-site parking, as long as it is located within 660 feet of the principal use for which the parking is intended. In general, visitors to the Downtown will prefer parking the shortest possible distance from their destination.

The City of Downey should initiate long range planning and property acquisition efforts to provide for additional parking structures located in both the east and west areas of the Downtown Downey Specific Plan. A potential east end site is the civic center complex, where surface parking could be converted to a parking structure that could provide additional shared parking. A potential west end site would be the existing Post Office surface parking lot, which appears large enough to allow conversion to a parking structure. Additionally, the City shall conduct a parking study to determine additional public parking needs when the number of parking waivers granted exceed 60% of the available public parking.

Parking management and operation includes making the effort necessary to ensure that various users are using appropriate parking areas. For the Downtown Downey Specific Plan area, it will be important to encourage employees to park in the less convenient locations, allowing visitors access to the more convenient parking. This will in turn enhance the visitor's experience by minimizing the amount of time and effort spent walking to and from their destination. It is also recommended that future parking facilities include provisions for neighborhood electric vehicles (NEVs) see Section 4.7. Initially, approximately 2 – 5% of the overall parking should be designed to accommodate NEVs. This should include charging facilities. The parking spaces can also be reduced in size due to the smaller dimensions of the vehicles themselves. NEV parking should also be conveniently located to encourage use of this emerging mode of transport.

The design of the pedestrian system also plays an important role in the overall success of a shared parking system. The pedestrian system should be well designed taking into consideration: signage, safety, an attractive environment, and short direct routes to key destinations.

Compact parking is not recommended for Downtown. Research has shown that compact (small-vehicle-only) parking spaces do not work. As cited in recently published literature (The Dimensions of Parking, Fourth Edition, 2000, Urban Land Institute), issues related to large vehicles parking in compact vehicle spaces ultimately is a disadvantage of requiring less room per parking space.

6

Infrastructure Plan

City of Downey

Downtown Specific Plan

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6. Infrastructure Plan

Adequate infrastructure and utility systems are essential components of this Specific Plan. Identified infrastructure systems will ensure that the project area supports anticipated development with essential utilities and services as efficiently as possible. All facilities will be developed to the standards of the service provider and as required by applicable government standards. This chapter defines the major components of water, sewage, storm water drainage, solid waste disposal, energy, and other essential facilities planned within or adjacent to the Specific Plan area.

6.1 Water

Potable water is provided to the Specific Plan area by the City of Downey Public Works Department. The Department oversees the operation and maintenance of twenty-nine (29) well sites, including twenty-one (21) active wells, two hundred and seventy-six (276) miles of water mains, four (4) water booster stations and a five-million-gallon water maintenance yard. In previous years, the City has relied primarily on groundwater from the Central Basin for approximately 96 percent of its total annual water production, with recycled water and purchased water connections accounting for the remaining four percent. To ensure future water availability, groundwater recharge for the Central Basin is accomplished through import of purchased water from the Metropolitan Water District and recycled water from the Whittier and San Jose Treatment Plants to the Rio Hondo and San Gabriel River Spreading Grounds upstream of the City.

The current water system consists of large two to four (12-24") inch ductile iron transmission mains along most of the City's major arterials, including Paramount Boulevard and Firestone Boulevard in the Specific Plan area. These transmission mains move large volumes of water throughout the City into distribution mains, four to ten (4-10") in size for delivery to the City's customers and fire services. Piping throughout the entire area is primarily composed of ductile iron or cast iron, and ranges in diameter from four to twenty-four (4-24") inches. Table 6.1 provides information on the size of existing pipes found under each major roadway in the Specific Plan area and proposed improvements identified in the City's Water Master Plan.

Table 6.1: Water Pipe Sizes by Roadway in the Specific Plan Area

Street	Existing Transmission Lines	Future Improvements (Water Master Plan)
Firestone Boulevard	One 12" main, Two 4" mains	No proposed improvements
Second Street	One 4" main	No proposed improvements
Third Street	One 20" main, One 4" main	No proposed improvements

FACT: City of Downey Public Works Department oversees the operation and maintenance of 29 well sites.

Table 6.1: Water Pipe Sizes by Roadway in the Specific Plan Area

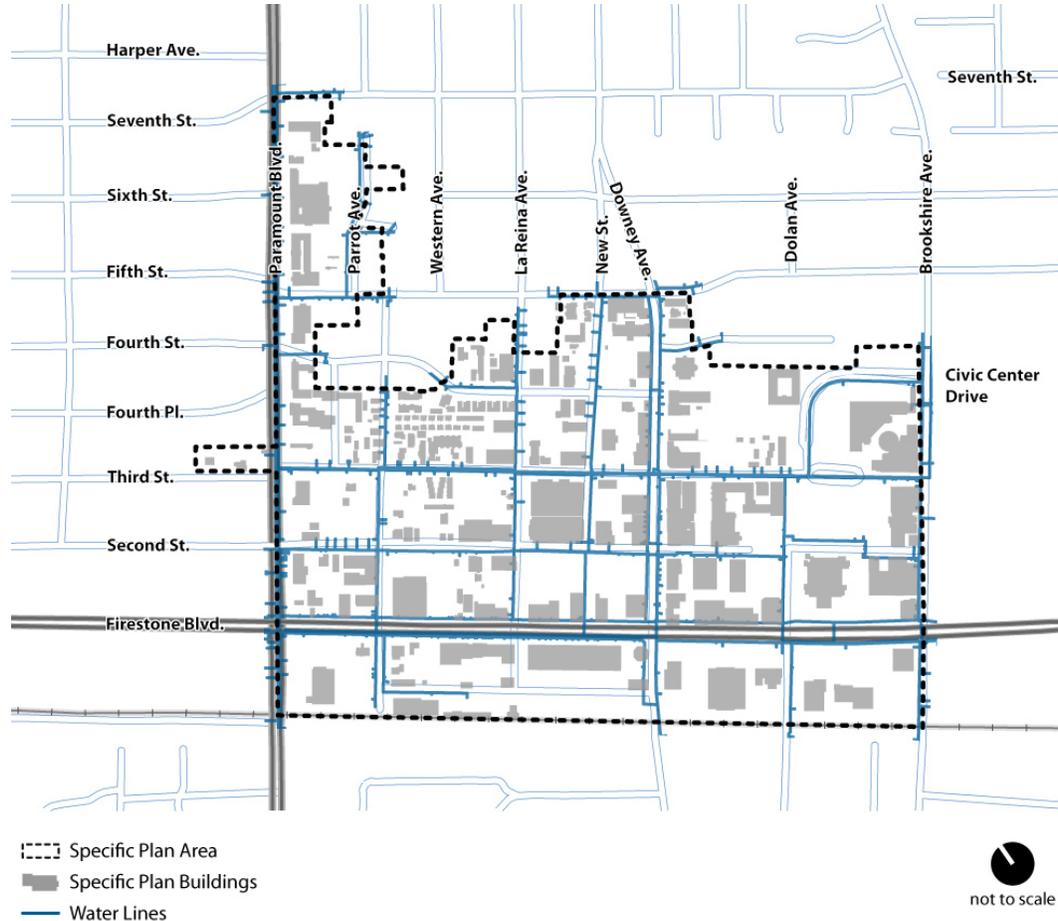
Exhibit 6.1
Infrastructure Plan (Water)

Section 6 Infrastructure Plan

Street	Existing Transmission Lines	Future Improvements (Water Master Plan)
Fourth Street	One 4" main	Proposed phase II pipeline improvement – 8" (Fourth Street at Downey Avenue)
Fifth Street	One 8" main	Proposed phase II pipeline improvement – 10" (Parrot Avenue at Fifth Street)
Seventh Street	One 8" main	No proposed improvements
Civic Center Drive	One 8" main	No proposed improvements
Downey Avenue	One 10" main, One 4" main	No proposed improvements
New Street	One 6" main	No proposed improvements
La Reina Avenue	One 8" main	Proposed phase I pipeline improvement - 12" (La Reina at Nance Avenue)
Myrtle Avenue	One 4" main	No proposed improvements
Paramount Boulevard	One 24" main, One 8" main	No proposed improvements

The existing water lines are shown in Exhibit 6.1, Infrastructure Plan (Water).

Exhibit 6.1: Infrastructure Plan (Water)



6.2 Sanitary Sewers

Downtown Downey is located within the jurisdictional boundaries of the Sanitation Districts of Los Angeles County, District No. 2. The Districts operate eleven (11) wastewater treatment facilities, ten (10) of which are classified as water reclamation plants. This system provides sewage treatment and disposal for residential, commercial, and industrial users. Wastewater generated within the Specific Plan area is treated at the Joint Water Pollution Control Plant located in the City of Carson, and the Los Coyotes Water Reclamation Plant located in the City of Cerritos, both of which are currently operating below their ultimate capacities.

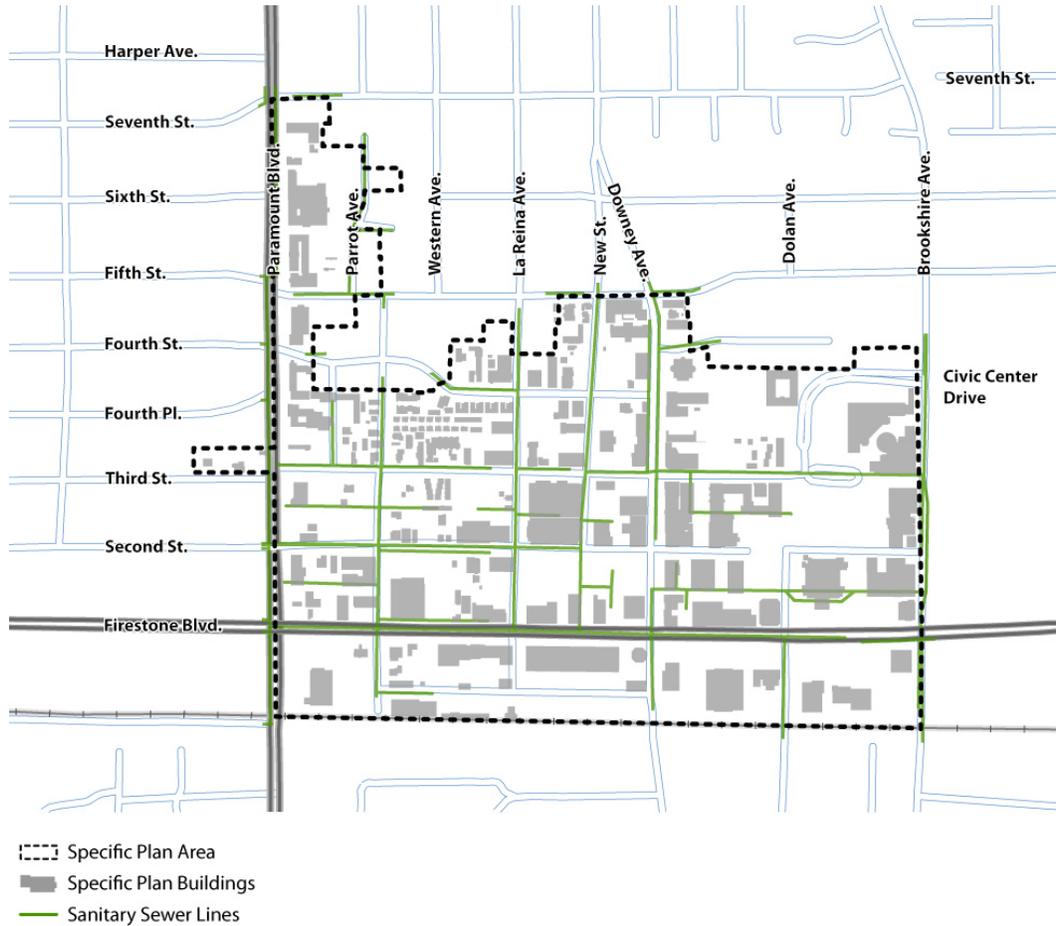
Public sewer mains exist under all major roadways in the Specific Plan area. Table 6.2 provides information on the size of existing pipes found under each major roadway. Typically, pipes are approximately three hundred (300') feet in length (about the size of a city block) and may not be the same size for the entire length of the roadway. Often under one continuous street there may be pipes of varying sizes, indicating that upgrades may have been completed to allow for increase capacity or older smaller pipes replaced with newer, bigger pipes. Streets not shown do not currently have lines. The Sanitation Districts of Los Angeles County has determined that capacity exists within the current conveyance system and the two plants to accommodate the ultimate build out of the proposed Specific Plan area, as outlined in the General Plan. Existing sewer lines are shown in Exhibit 6.2, Infrastructure Plan (Sanitary Sewers).

Table 6.2: Sanitary Sewer Pipe Sizes by Roadway in the Specific Plan Area

Street	Existing Sewer Lines
Firestone Boulevard	8" and 15" Pipes
Second Street	8" and 15" Pipes
Third Street	8" Pipes
Fourth Street	8" Pipes
Fifth Street	8" Pipes
Seventh Street	8" Pipes
Downey Avenue	8" and 12" Pipes
New Street	8" and 15" Pipes
La Reina Avenue	8" Pipes
Myrtle Avenue	8" Pipes
Paramount Boulevard	8", 10" and 15" Pipes

Table 6.2:
Sanitary Sewer
Pipe Sizes by
Roadway in
the Specific
Plan Area

Exhibit 6.2: Infrastructure Plan (Sanitary Sewers)



6.3 Storm Water Drainage

The City of Downey is currently divided into three drainage areas with respect to the three receiving water bodies that border the City. Roughly half of the City, east of Downey Avenue, drains to the San Gabriel River. The northwest quadrant of the City, north of Firestone Boulevard and west of Downey Avenue, generally drains towards the Rio Hondo River. The remaining southwest portion of the City, south of Firestone Boulevard and west of Downey Avenue, drains to the Los Angeles River.

As Downtown Downey is largely developed with few undeveloped infill areas, flood control is provided by a network of box culverts, underground storm drain pipes, and open channels. The City of Downey, DPW, Storm Drain Maintenance Section, Utilities Division, is responsible for the maintenance, repair and cleaning of City owned catch basins, drainage culverts, dry wells, and storm water lift stations at the under passes on Imperial Highway and Paramount Boulevard (City of Downey, 2010). Main line storm drains and catch basins that are not owned by the City are primarily the responsibility of the Los Angeles County Department of

Public Works. These storm drain facilities have the capacity to convey surface runoff from a 100-year flood return frequency event.

There are several large storm drains under Firestone Boulevard and Paramount Boulevard ranging from eighteen to thirty-six (18-36") inches. There are shorter storm drains under several of the small cross streets including: Downey Avenue, Second Street, Third Street and Myrtle Avenue. The established storm drainage system in Downtown is able to collect run-off and adequately direct it to an appropriate output area. Exhibit 6.3, Infrastructure Plan: Storm Drainage shows the existing storm water drain system in Downtown.

Table 6.3: Storm Drainage Pipe Sizes by Roadway in the Specific Plan Area

Street	Existing Storm Drains
Firestone Boulevard	15" Storm Drain
Second Street	39" Storm Drain
Seventh Street	33" Storm Drain
Downey Avenue	18" and 36" Storm Drains
Myrtle Avenue	36" Storm Drain
Paramount Boulevard	24" and 36" Storm Drains

Table 6.3:
Sanitary Sewer
Pipe Sizes by
Roadway in the
Specific Plan
Area

Exhibit 6.3: Infrastructure Plan (Storm Drainage)

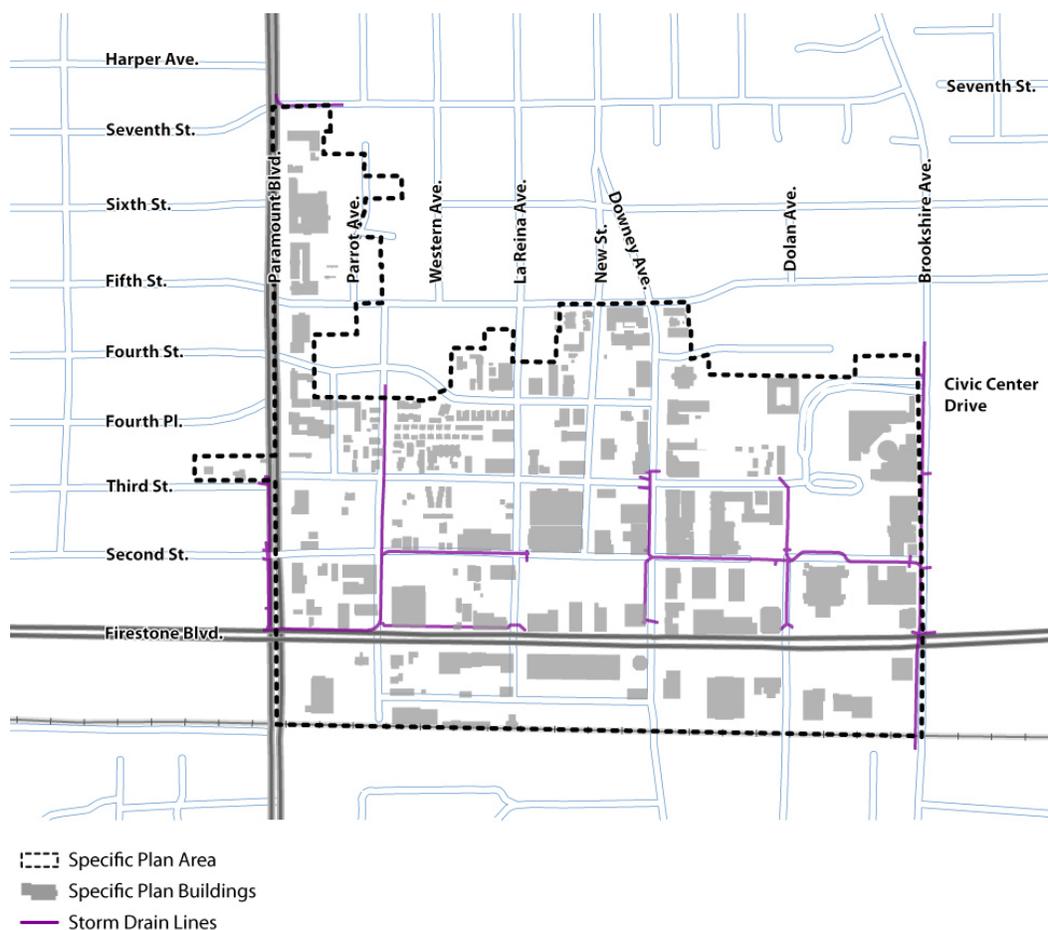


Exhibit 6.3
Infrastructure Plan (Storm Drainage)
Section 6 Infrastructure Plan

6.4 Solid Waste

The City of Downey contracts with private waste haulers for the collection of all trash. As of 2010, CalMet Services, Inc. held the contract. Waste collected within the City is brought to the Downey Area Recycling and Transfer Facility (DART), which is owned by the County Sanitation Districts of Los Angeles County. DART is located at 9770 Washburn Road in Downey and has a rate of disposal by CalMet of approximately 6,700 tons per month as of 2010. Waste materials are separated from recyclables, with the remaining waste materials taken to the Puente Hills Landfill in Whittier.

Residents of Downey use curbside recyclables and green waste containers to increase diversion. CalMet distributes recycling information to customers to increase environmental awareness and discourage contamination. In 2002, Downey had a diversion rate of 44%. The City implements various outreach programs and is considering an ordinance to assist in achieving a 50% diversion rate goal. Any development within the Specific Plan area is responsible for complying with City recycling programs and ordinances related to achieving the adopted diversion rates.

6.5 Utilities

This section includes specific information on the utilities and services provided to the Specific Plan area. Utilities described include: electricity, natural gas, telephone, and cable services.

6.5.1 Electricity

Southern California Edison Company (SCE) provides electricity to all businesses, residences, and institutions within the City of Downey. SCE has stated that it has facilities in the area and that electricity service to the Specific Plan area could be provided from existing facilities within in the City.

6.5.2 Natural Gas

The Southern California Gas Company provides natural gas to the Specific Plan area and has indicated that sufficient capacity exists within the existing infrastructure to accommodate the project. Additional points of connection will be established when necessary.

6.5.3 Telephone

Telephone service is offered regionally by telecommunications companies such as Verizon, AT&T or Comcast. Telephone infrastructure and service will be installed as needed along with other utilities.

6.5.4 Cable

Local cable franchises, including Time Warner Cable and Comcast Cable, provide cable television services to the Specific Plan area.

6.6 Public Services

This section includes specific information regarding the public services provided to the Specific Plan area. Public services provided include police protection, fire and paramedic services, public transportation, schools, libraries, and open space.

6.6.1 Police Protection



The Downey Police Department provides local law enforcement and police protection services. The Police Department operates from its headquarters at 10911 Brookshire Avenue, at City Hall within the Specific Plan area. The Police Department is comprised of 166 total employees, including 114 sworn officers. To provide balanced enforcement, the City has been divided into six quadrants, and at least one officer is assigned to each area.

Image: A sign in downtown directing residents to the location of the Downey Police Department

6.6.2 Fire Protection and Paramedic Services

The City of Downey Fire Department provides full-service fire protection and emergency medical services to the residents and businesses in Downtown. The Department is responsible for 12.8 square miles of residential, commercial, and industrial uses, as well as open space brush area. The stations in Downey house four engines, one ladder truck, two paramedic rescue squads, one civilian ambulance squad, and one Urban Search and Rescue (USAR) vehicle. These facilities are equipped to serve a resident population of over 100,000. For the Specific Plan project area, emergency first response is expected to come from the fire station located at 9900 Paramount about a mile and a half from City Hall. Emergency response times to Downtown are more than acceptable given the location of the fire station in comparison to the Specific Plan area.

6.6.3 Schools

Image:
Downey High
School
located west
of the Specific
Plan area

The Downey Unified School District provides educational services and facilities for students from kindergarten through twelfth grade. The District houses approximately 21,323 students in 15 elementary, four junior high, and two comprehensive high schools. In addition, the District operates a continuation high school/adult school and several specialized facilities for students with special needs. The Specific Plan area is assigned to Rio Hondo Elementary School which is approximately half a mile west of the Specific Plan boundary, and Gallatin Elementary School, which is located about a mile north of Downtown. Middle school students would attend Griffiths Middle School (located approximately half a mile northwest of Downtown) or East Middle School (located a mile and a half southeast of Downtown). Warren High School is located less than a mile south of the Specific Plan area, and Downey High School is adjacent to the Specific Plan area on the east. The dividing line for attendance at the high schools runs through the Specific Plan area along Downey Avenue.



The City of Downey has one public library, the Downey City Library, located in the Specific Plan area adjacent to City Hall. The library was constructed in 1958 and renovated in 1982 to meet the growing needs of the community. The Downey City Library offers access to approximately 135,000 literary items. Since 2005, library facilities have undergone significant upgrades in technology, including over 36 publically accessible computers, and a new automated system to assist in library operations. The Library hosts programs to promote reading and learning for all ages and can serve as a focal point within Downtown.

6.6.4 Library Services

Image:
Downey Public
Library located
in the Civic
Center land
use district

The City of Downey has one public library, the Downey City Library, located in the Specific Plan area adjacent to City Hall. The library was constructed in 1958 and renovated in 1982 to meet the growing needs of the community. The Downey City Library offers access to approximately 135,000 literary items. Since 2005, library facilities have undergone significant upgrades in technology, including over 36 publically accessible computers, and a new automated system to assist in library operations. The Library hosts programs to promote reading and learning for all ages and can serve as a focal point within Downtown.



6.6.5 Open Space

The 2025 General Plan identifies a multitude of functions for open space that benefit the community, including park and recreation areas, recreational trails, conservation of natural and significant resources, buffers between land uses, and the preservation of scenic views. The City has identified a need for additional parks and recreational facilities to serve its growing population. The City's goal is to provide 1.5 acres of parkland for every 1,000 residents. The Department of Parks and Recreation is responsible for the operation and maintenance of 106 acres of active and passive open space. A large public open space near City Hall is planned, as are smaller pocket parks throughout Downtown.



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Implementation and Administration

City of Downey

Downtown Specific Plan



7. Implementation and Administration

7.1 Downtown Strategy

This section identifies key steps to implement the Specific Plan and recommends actions to achieve the vision for Downtown.

7.1.1 Market Analysis

A market analysis should be undertaken to identify businesses for which focused attraction/retention efforts should be made. The market analysis would evaluate socio-economic demographics and employment trends and look closely at regional retail, office, and residential real estate markets (including mixed-use). The market analysis would determine the level of retail, office, and residential development that may be supported within the Specific Plan area through 2015 and thereby help the City to attract desirable uses, develop an economic development strategy, and generate more infill design strategies for Downtown.

7.1.2 Return on Investment Analysis

In addition to a market analysis, a return-on-investment (ROI) analysis may be helpful in evaluating and testing prototype developments at different sites and/or scales of development. The ROI can illustrate project returns based on current and expected market conditions and highlight potential financial gaps that may require public investment to catalyze development.

7.1.3 Infrastructure Analysis and Financing Strategy

A detailed infrastructure study is needed to provide rough order of magnitude costs associated with Downtown infrastructure improvements. For roadways, this entails estimating the approximate street improvement areas and applying a per-square-foot unit cost factor. The City should set up specific financing plans for major capital improvements required to support development in the Downtown Specific Plan area. Detailed financing plans shall be prepared and made a part of any project approval. The financing plan shall identify the necessary capital improvements including public facilities, streets, and utilities, and assure their timely financing.

The Downtown Downey Specific Plan identifies opportunities, programs and projects to support and enable redevelopment in Downtown Downey. These projects range from street and infrastructure enhancements to shared parking structures and long term retail strategies. To implement the Downtown Downey

Specific Plan, the City of Downey and Downey Redevelopment Agency should initiate the following recommendations:

Table 7.1: Implementation Recommendations

Opportunities	Recommendations
Chapter 2 - Land Use Districts	
LU-1. BIDs	Formalize a Business Improvement District or Merchants Association to unite existing business owners and facilitate improvement of the appearance and overall health of Downtown.
LU-2. Residential Development	Introduce residential uses into mixed-use developments in conjunction with retail and office development. The City should initiate the development of new units in Downtown, encouraging good design and quality materials.
LU-3. Underutilized Lots	Use vacant lots, City-owned lots, and underutilized parking lots to develop a wide range of mixed-use development.
LU-4. Park-Once Structure	Construct a Park-Once Parking Structure on both the east and west areas of Downtown utilizing existing surface parking lots or City-owned land.
LU-5. Utilize Parking Areas	Line or wrap parking garages with retail and commercial uses which are compatible with surrounding buildings.
LU-6. Safe & Clean Parking Garages	Maintain a safe and clean environment in the existing parking structure on the west side of Downtown.
LU-7. Third Street	Establish Third Street as a primary open space in Downtown – adding wide sidewalks, parkway improvements (landscaping & street trees), street furnishings, and improved materials, to transform the avenue into the primary east-west pedestrian corridor and people space that encourages vibrant, mixed-use activities.
LU-8. Open Space	Open Spaces for gathering and for recreation should be provided including a number of pocket parks, plazas, paseos, and a large, central gathering space in Downtown.
LU-9. Bike Routes	Bicycle lanes should be provided throughout Downtown where possible including striped lanes and route signs.

Opportunities	Recommendations
LU-10. Walkability	The pedestrian realm should be enhanced through street improvements along existing streets and a series of paseos that provide connections between major public spaces within Downtown.
LU-11. Religious Institutions	Religious institutions are active community members and property owners that should be encouraged to develop properties as a cohesive planned campus rather than isolated structures with parking in between.
LU-12. A Sense of Arrival	Identify the gateways into Downtown by designing landmarks and special pavings at major intersections.
LU-13. Landscaping	Increase the amount and quality of the landscaping in Downtown by planting more street trees and adding new parks and public gathering spaces.
LU-14. Citywide Events	Program events, festivals, and fairs within the Specific Plan area, particularly along Downey Avenue and Third Street, to attract people to Downtown.
LU-15. Parkland Acquisition	Establish a Parkland Acquisition Program to assemble spaces to establish multiple open space areas throughout Downtown. The Program will allow developers to develop higher density and intensity projects requiring that each development contribute an in lieu fee to the City to finance larger central public spaces.
Chapter 3 – Urban Design Standards and Guidelines	
UD-1. Landscape Parkways	In lieu of landscape parkway requirements, the City should implement in-lieu parkway fees that contribute to the funding of Downtown parkway improvements.
UD-2. Open Space	In lieu of private open space requirements, the City should implement in-lieu open space fees that contribute to the funding of Downtown streetscape and open space improvements.
UD-3. Way-finding Signs	Implement a way-finding program to brand Downtown and assist people seeking their way to and from Downtown Downey businesses, resources, and amenities.

Opportunities	Recommendations
UD-4. Public Art Program	Downey’s public art program provides for “outdoor artworks that are easily accessible to the general public.” A total of 1% of construction costs for qualifying projects or maximum of \$150,000 must be reserved for this use. In lieu fees collected from projects within the Downtown shall be utilized in the Downtown Specific Plan area.
Chapter 4 – Mobility Plan	
MP-1. Metro Green Line Access	The City should adjust the Downey Link local service routes to provide direct access to the Metro Green Line stations to encourage and facilitate use of light rail services.
MP-2. Multi-Modal Study	To better understand and plan for future circulation and mobility in the City a multi-modal study is encouraged to look at ways to reduce automobile traffic and increase use of alternative forms of transport.
MP-3. Relocate Downey Depot	To increase visibility and access, the Downey Depot should be relocated from the fringe of the downtown area to a more centralized location in vicinity of the Civic Center.
MP-4. Pedestrian Network	Sidewalks shall be provided along all of the roadways within Downtown to establish a pedestrian network that emphasizes safe routes to schools and connections to transit. The routes should include walkways that connect schools, parks, neighborhoods, and commercial districts throughout Downtown.
MP-5. Street Design Features	To promote pedestrian activity, enhance pedestrian safety and calm traffic, street design features such as intersection curb extensions and raised crosswalks are recommended at most intersections within Downtown.
MP-6. Bicycle Plan	Develop and implement a city-wide bicycle facilities plan including access from the greater City of Downey community into the Downtown.
MP-7. Bicycle Facilities	Bicycle facilities including bicycle lockers, bicycle racks, locker rooms, and shower rooms should be provided at various destination points within Downtown such as the Downey Depot.

Opportunities	Recommendations
MP-8. Bicycle Amenities	Rest amenities such as drinking fountains, benches, picnic tables and lawn areas that directly serve users of the on-street and off-street bikeway system should be provided within the various parks and open space areas.
MP-9. Neighborhood Electric Vehicle (NEV) Plan	To encourage the use of Neighborhood Electric Vehicles (NEVs) as a valued transportation component within Downtown, the city should develop and implement a NEV plan for Downtown and surrounding areas. Requirements for NEV facilities such as signage, parking spaces, and charging stations should be incorporated into the NEV plan.
MP-10. Transit Amenities	Additional transit amenities in the form of bus shelters and turn outs should be provided for the bus routes that serve Downtown.
Chapter 5 – Parking Plan	
PP-1. Parking Structures	The City should initiate a long range planning and property acquisition program for additional parking structures located in both the east and west area of Downtown. A potential east end site is the Civic Center complex where surface parking could be converted to a parking structure. A potential west end site could be the existing Post Office surface parking lot, which appears large enough to allow conversion to a parking structure.
PP-2. Parking Management and Operations	It is important to encourage employees to park in less convenient locations allowing visitors access to the more convenient parking.
PP-3. Parking Facilities for NEVs	Future parking facilities should include provisions such as charging stations and reduced sized parking spaces for neighborhood electric vehicles (NEVs). Initially, 2-5% of the overall parking should be designed to accommodate NEVs.
Chapter 7– Implementation	
IMP-1. Market Analysis	A market analysis should be undertaken to identify businesses for which focused business attraction/retention efforts should be made.

Opportunities	Recommendations
IMP-2. Return on Investment Analysis (ROI)	A return-on-investment analysis (ROI) is recommended for Downtown catalyst/opportunity sites. An ROI may be helpful in evaluating and testing prototype development at different sites and/or scales of development.
IMP-3. Infrastructure Analysis	A detailed infrastructure study should be prepared to provide rough of order of magnitude costs associated with Downtown infrastructure improvements such as roadways, public open spaces, landscaping, lighting and signage improvements.
IMP-4. Financing	The City should identify and regularly monitor potential funding sources for implementation of Downtown improvements and programs.

7.2 Specific Plan Implementation

The City will follow these steps to execute the Downtown Downey Specific Plan:

- ▶ Certify the City of Downey Downtown Specific Plan Environmental Impact Report;
- ▶ Adopt findings, mitigation measures, and monitoring program as required by California Environmental Quality Act;
- ▶ Adopt General Plan Amendments to allow for establishment of residential development within the Downtown Downey Specific Plan and to change land use to Mixed Use; and adopt the Downtown Downey Specific Plan concurrently;
- ▶ Prepare specific financing plans for major capital improvements required to support development in the Downtown Specific Plan area; and
- ▶ Specific Plan administration through approval of projects in accordance with the intent of the Downtown Downey Specific Plan.

7.2.1 General Plan Amendments and Specific Plan Approval

The General Plan will be amended concurrently with the adoption of the Specific Plan to ensure the Specific Plan is consistent with the City's General Plan. The General Plan text and land use map will be amended to 1) allow for the establishment and implementation of the Downtown Specific Plan, and 2) accommodate the types and densities of development envisioned in the Downtown Specific Plan land use designations.

7.3 Financing and Fees

California Government Code Section 65451 sets forth the basic content of specific plans and one of the requirements is to include information relating to project financing and fees. This section summarizes a variety of potential funding sources available at the time the Specific Plan was written. This list is not inclusive, but is intended to provide a starting point to fund Downtown improvements and programs.

The listing of potential funding sources is organized into three categories:

- ▶ Federal and State
- ▶ City and County
- ▶ Private Involvement

7.3.1 Federal and State Funding Sources

7.3.1.A Community Development Block Grant (CDBG)

Established in 1974, the Community Development Block Grant (CDBG) is one of the oldest programs of the Department of Housing and Community Development (HUD). The CDBG provides annual grants based on a formula. The grants can be used for downtown revitalization projects, infrastructure improvements, low income housing, and reduction of blight.

7.3.1.B California Department of Housing and Community Development (HCD) Loans and Grants

The California Department of Housing and Community Development (HCD) administers more than 20 programs that award loans and grants for the construction, acquisition, rehabilitation, and preservation of affordable rental and ownership housing, homeless shelters and transitional housing, public facilities and infrastructure, and the development of jobs for lower income workers. These loans and grants are available to local public agencies, nonprofits and for-profit housing developers, and service providers. In many cases, these agencies then provide funds to individual end users. These loans and grants can be used for construction, acquisition, rehabilitation, and preservation of affordable rental and owner-occupied housing.

7.3.1.C Environmental Protection Agency (EPA) Grants

The Environmental Protection Agency (EPA) offers federal grants for various purposes including State and local programs, research, demonstration projects, developments, and implementation of a wide range of environmental based programs including smart growth, water pollution, conservation, and solid waste disposal.

7.3.1.D National Endowment for the Arts Grant Programs

The National Endowment for the Arts is a public agency dedicated to supporting excellence in the arts, bringing the arts to all Americans, and providing leadership in arts education. Established by Congress in 1965 as an independent agency of the federal government, the Endowment is the nation's largest annual funder of the arts, bringing great art to all 50 states, including rural areas, inner cities, and military bases. Funding can be used for public art, preservation and conservation of cultural artifacts and sites, and art education.

7.3.1.E State Historic Restoration Incentives

The State of California Office of Historic Preservation manages both State and federal historic preservation programs. The following is a list of grants and programs funded by sources in the State of California:

- ▶ The California Register of Historic Places
- ▶ The Mills Act

- ▶ Heritage Fund Grants
- ▶ Federal Historic Restoration Incentives
- ▶ The National Register of Historic Places
- ▶ The Certified Local Government Program
- ▶ Historic Preservation Tax Credits

7.3.2 City and County Funding Sources

7.3.2.A Redevelopment Agency Tax Increment Financing

A majority of the Specific Plan Area is within the Downey Redevelopment Project Area. Within a redevelopment area, cities may use the increase in property tax revenues resulting from the increase in taxable valuation caused by development to provide businesses with economic development incentives such as land acquisition, parcel assembly, infrastructure, and other public improvements. This mechanism is known as tax increment financing. Tax increment financing revenues cannot be used for construction costs except for affordable housing.

7.3.2.B City General Fund

The City General Fund is the main source of City financing for ongoing operating, staffing, and maintenance costs. Occasionally, cities will use the City General Fund for major capital improvements, one-time purchases or commit a certain amount to a revitalization effort over a period of several years. A City's General Fund may be used for improvements and ongoing projects or programs which have general communitywide benefits. However, in light of the recent budget crisis affecting many California cities, the City's General Fund may not be a viable financing option.

7.3.2.C Debt Financing

Statutory authority empowers public entities to issue a variety of securities/bonds to incur debt. The proceeds can be used for any public improvement for which the City would otherwise be authorized to spend City funds, where that expenditure is greater than the amount generally available from the annual tax levy. Examples include General Obligation Bonds, Revenue Bonds, and Tax Allocation Bonds, amongst others. Use of this option will generally be limited to those improvements with a citywide benefit, where the desire is to install the improvement in advance of the City having the available cash for payment.

7.3.2.D Parking Revenues

Downtown parking can provide a source of public revenue from parking meters, paid parking in surface lots and parking structures, and paid permit parking for residential neighborhoods. Revenue from parking can be used for streetscape improvements, downtown management, downtown security and maintenance, and general downtown and neighborhood improvements.

7.3.3 Private Involvement

7.3.3.A Special Assessment Districts

Special Assessment Districts, such as those created under the Improvement Act of 1911, or the Municipal Improvement Act of 1913, and funded pursuant to the Improvement Bond Act of 1915, provide a method for long-term financing of public infrastructure and facilities. The assessment district includes the area where the real property owners will benefit from the provision of the planned facilities. A lien based upon a formula for allocating benefit among the properties within the assessment district is placed against each parcel of property within the district. The public entity establishing the benefit assessment district issues and sells the bonds to finance the upfront costs of constructing the improvements. The bonds are then repaid over their term from assessments levied against the properties in the district in addition to the property taxes due. The assessments are collected with the property taxes on an annual basis and used to redeem the bonds that have been recorded as a lien against each property in the district.

7.3.3.B Business Improvement Districts

In California, Business Improvement Districts (BIDs) date back to 1965 with the approval of the "Parking and Business Improvement Area Law." BIDs are a type of assessment district in which business owners within a defined area choose to be assessed a fee, which is collected on their behalf by the City, for use in promoting and improving the business area.

BIDs can provide a business area with the resources to develop marketing campaigns, enhance public improvement and beautification projects in partnership with the City, and secure additional funding. Events, programs, and improvements range from farmers' markets to business promotions to installing street lighting and decorative banners, to washing sidewalks and removing graffiti. By pooling private resources, businesses collectively pay for activities they could not afford individually. Further, since a BID fee is a benefit assessment and not a tax, BIDs can consistently provide activities without having to rely on public funding.

7.3.3.C Property and Business Improvement Districts

Enacted by the Parking and Business and Improvement Area Law of 1989, Property and Business Improvement Districts (PBIDs) provide for an assessment on owners of commercial property within a defined geographic area. The proceeds from this assessment are used to provide services that offer a specific benefit to those properties within the district.

Similar to BIDs, PBIDs can fund marketing and economic development, security, sanitation, graffiti removal, street cleaning, and other municipal services ,yet funds may also be used for the closing, opening, widening and narrowing existing streets, the rehabilitation or removal of existing structures, and facilities or equipment.

Streets and Highways Code 36610 defines acceptable “improvements” as “the acquisition, construction, installation or maintenance of any tangible property with an estimated useful life of five years or more...” Therefore, the use of the PBID does not appear to be limited to specific types of infrastructure, although it is commonly used to finance street and lighting improvements. The formation of a PBID is initiated by a petition signed by the property and business owners who will pay more than 50 percent of the proposed assessment. It therefore requires significant public support with the benefitting area.

7.3.3.D Maintenance Assessment District

Maintenance Assessments Districts (MADs) are authorized in the Landscape and Lighting Act of 1972.” MADs usually fund maintenance services, construction and installation, open space and mini or pocket parks, street medians and street lighting, security, and flood control and drainage.

7.3.3.E Parking Assessment District

The Parking District Law of 1943 (streets and Highways Code Section 31500) authorizes a city or county to finance acquisition of land for parking facilities (including the power of eminent domain), improvement and construction of parking lots and facilities, issuance of bonds, and employee salaries. For example, a City could use a small amount of property tax revenues and parking meters revenues to enforce and maintain the meters and build and improve surface parking lots.

7.3.3.F Community Services District

A Community Services District can be used within a specific area to finance services and facilities associated with such items as traffic and circulation, street lighting, law enforcement, fire protection, and facility maintenance. They offer the opportunity to ensure the payment obligation rests with the area utilizing the infrastructure improvements.

7.3.3.G Landscaping and Lighting Districts

The Landscaping and Lighting Act of 1972 provides for the creation of assessment districts to finance the cost of installing and/or maintaining landscaping, lighting facilities, and ornamental structures. Like a benefit assessment district, properties within the district are assessed a share of the costs to the district on the basis of the benefit provided to the real property.

7.3.3.H Impact Fees and Exactions

Impacts fees are exactions that lessen the impacts of new development resulting in population or demand on services. In lieu of payment of all or a portion of development fees, developers may dedicate land to the City for other purposes such as parks or affordable housing. Whenever a developer determines to dedicate land in lieu of payment, the value of the property to be dedicated must

be determined in the same manner as the then current calculation of the average cost of, for example, parkland for the Park Development Fee. These funds may be used for dedication of land and fees in lieu of dedication, subdivision reservation for public uses, and development architectural review and fees.

7.3.3.I Adopt-a-Light Program (Tree, Bench, etc.)

As a unique method for paying for street light fixtures, or any other streetscape element, a small projected plaque sign could be affixed to the light pole with the name or logo of the local merchant/business/person/entity who purchased the fixtures. This program can also be applied to historic plaques, benches, trees, paving surfaces, and banners.

7.4 Specific Plan Administration

The Specific Plan serves as the implementation tool for the General Plan as well as the zoning for the Specific Plan area. The Specific Plan addresses general provisions, permitted uses, development and design standards, and design guidelines. All development proposals within the Specific Plan area are subject to the procedures established herein.

7.4.1 Applicability

The development and design standards contained herein provide specific standards for land use development within the Specific Plan area. The Specific Plan supersedes the otherwise applicable Development Code regulations. Whenever the provisions and development standards contained herein conflict with those contained in the Development Code, the provisions of the Specific Plan shall take precedence. Where the Specific Plan is silent, the Development Code shall apply.

7.4.2 Interpretation

The administrative process described below provides mechanisms for review and approval of development projects within the Specific Plan area consistent with the Specific Plan objectives.

As specified in Section 9116 of the Downey Municipal Code, unless otherwise provided, any ambiguity concerning the content or application of the Specific Plan is resolved by the City Planner or his/her designee in a manner consistent with the goals, policies, purposes, and intent established in this Specific Plan.

7.4.3 Environmental Review

The Environmental Impact Report (EIR) for the Specific Plan area may reduce the need for project-specific environmental review in those areas analyzed by the EIR, subject to findings that there are no submittal changes in conditions. It is possible that additional specific environmental review on a project-by-project basis may be necessary. This could include focused studies on one or more identified environmental concerns. The City will make these determinations and environmental review may be incorporated into the development approval process.

7.4.4 Specific Plan Revisions

Revisions to the Specific Plan may only be initiated by the City Council or Planning Commission at any time pursuant to Section 65453(a) of the Government Code and Section 9836.06 of the Downey Municipal Code. All Specific Plan revisions shall be found consistent with the Downey General Plan, or a General Plan Amendment and Zoning Code revision may be required. All revisions to this specific plan shall be processed pursuant to Section 9836 of the Downey Municipal Code.

7.4.5 Administrative Permits

As identified in Section 9814 of the Downey Municipal Code an Administrative Permit process is required for applications seeking a minor land use modification. A modification is deemed to be minor if it has little potential for affecting surrounding properties; has no significant environmental effect under the California Environmental Quality Act; or is not subject to discretionary or other review requirements of the Municipal Code.

All Administrative Permits shall be applied for and processed pursuant to Municipal Code Section 9814. The City Planner shall approve, approve with conditions, or deny an Administrative Permit. An application fee shall be paid in accordance with a schedule established by resolution of the Council. Exhibit 7.1 illustrates the general process to obtain an Administrative Permit.

Exhibit 7.1: Administrative Permitting Process

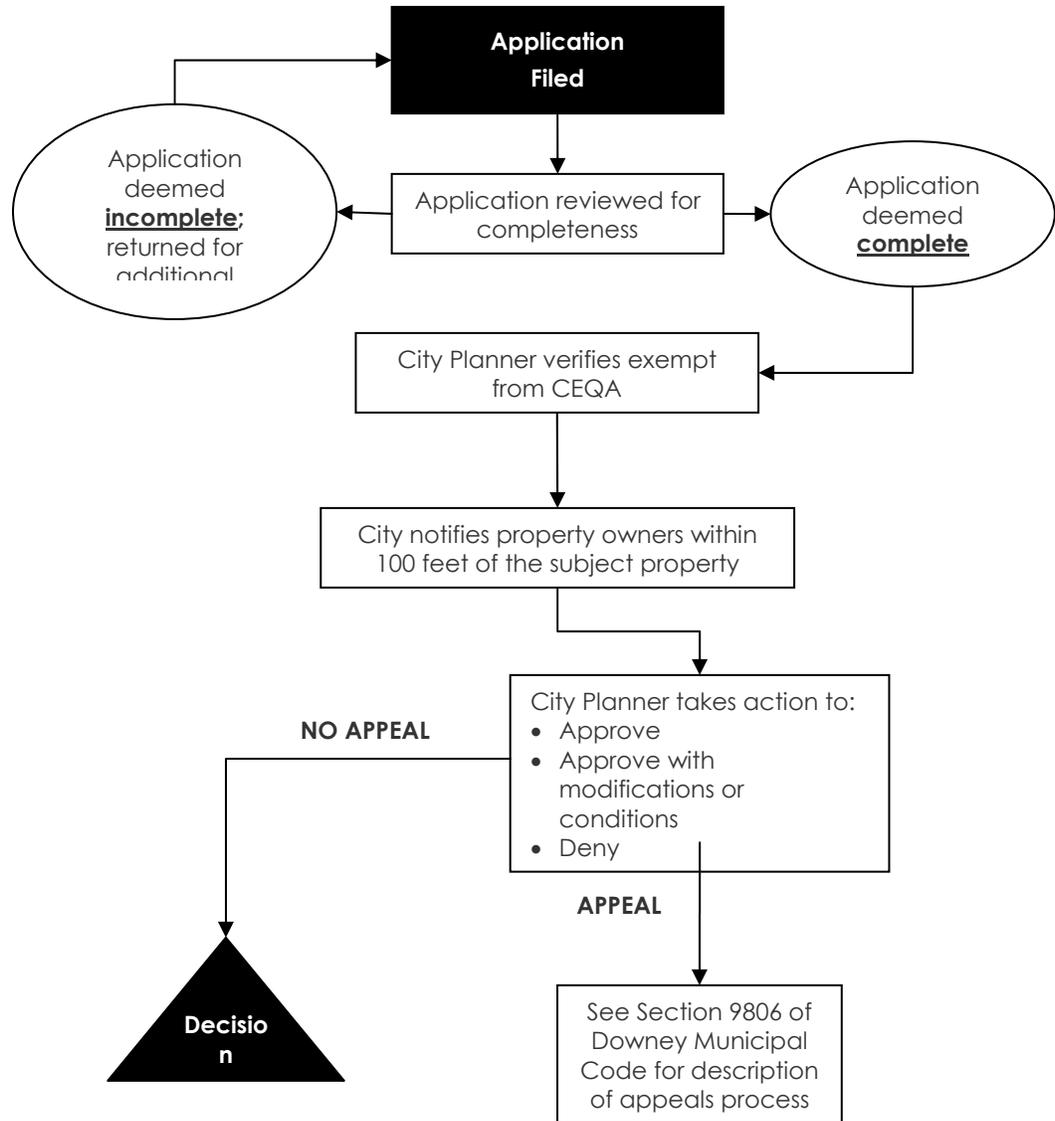


Exhibit 7.1
Administrative Permitting Process
Section 7 Implementation and Administration

7.4.6 Land Use Permits

Any Conditional Use Permit, Site Plan Review, and other discretionary applications shall be approved in conformance with the Specific Plan. They shall be processed in accordance with Chapter 8 of Article IX of the Downey Municipal Code, unless otherwise directed in the Specific Plan. Exhibit 7.2 illustrates the general process to obtain an Land Use Permit.

Exhibit 7.2: Land Use Permitting Process

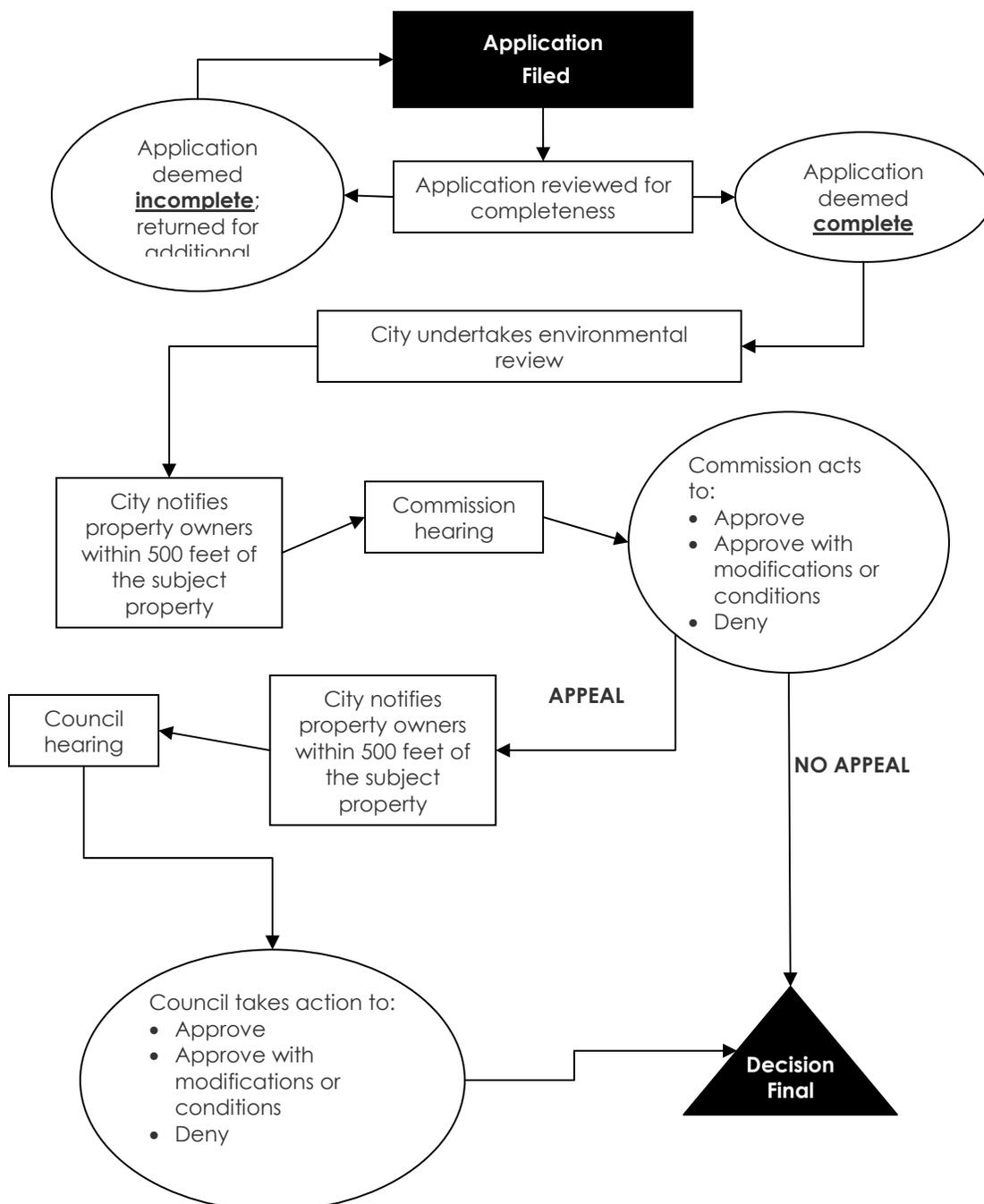


Exhibit 7.2

Land Use Permitting Process

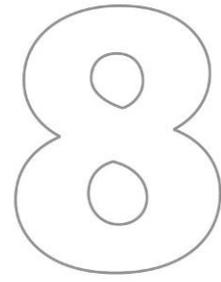
Section 7 Implementation and Administration

7.4.7 Tentative and Final Subdivision Maps

The Subdivision Map Act and City Subdivision Ordinance shall govern the subdivision process.

7.4.8 Appeals

All appeals pertaining to the Downtown Downey Specific Plan shall be made in conformance with section 9806 of the Downey Municipal Code. Decisions of the Planning Commission are final unless appealed to the City Council. The applicant or any other entity shall have the right to appeal by filing an application on forms provided by the City of Downey.



Appendix A
General Plan Consistency

City of Downey
Downtown Specific Plan



8. Appendix A: General Plan Consistency

California Government Code (Title 7, Division 1, Chapter 3, Article 8, Section 65440-65457) permits adoption and administration of Specific Plans as an implementation tool for elements contained in the local general plan. Specific Plans must demonstrate consistency in regulations, guidelines and programs with the goals and policies set forth in the general plan. The Downtown Downey Specific Plan has been prepared in conformance with the goals and policies of the City of Downey 2025 General Plan.

This chapter indicates how the Downtown Downey Specific Plan complies with the City of Downey 2025 General Plan. Typically, policies or goals that are not addressed are not applicable to the Specific Plan area. Approval of the Specific Plan is based on the finding that this Specific Plan furthered the goals and policies of the General Plan. These goals and policies are as follows:

Land Use Element

- ▶ Goal 1.1. Provide sufficient land areas for uses that serve the needs of residents, visitors and businesses.

- ▶ **Policy 1.1.1. Maintain a balance of land uses.**

The Specific Plan addresses the mix of uses in Downtown, dividing the area into five land use districts to ensure that a variety of uses are provided and that the needs of residents, visitors and businesses are met. Establishing land use districts will ensure that an appropriate balance of uses is established in Downtown and also allows for specific Floor-Area Ratios (FAR) to be determined for each individual district.

- ▶ **Policy 1.1.2. Provide an appropriate amount of land area to absorb the City's future population growth.**

The Specific Plan establishes Downtown as a population growth absorption area, where new residential uses can be accommodated. The Specific Plan is also consistent in that it establishes a specific Core Residential land use district and promotes the development of mixed-use and housing projects in Downtown.

- ▶ **Policy 1.1.3. Provide an appropriate amount of land area for business and employment.**

The Specific Plan is consistent, with this policy as specific land use districts, including the Firestone Boulevard Gateway and the Paramount Boulevard Professional districts, are specifically focused on generating new business opportunities, and high paying jobs for the community. The implementation of the land use districts will help

prevent the concentration of a particular use and ensure that businesses and employment opportunities are shared throughout Downtown.

▷ **Policy 1.1.4. Provide an appropriate amount of land area for people to acquire goods and services.**

The Specific Plan is consistent, as each of the five land use districts allow for a variety of retail, commercial and service business opportunities within neighborhood “nodes”. Implementation of the land use districts will help to prevent the over concentration of a particular use and ensure that a diversity of services and goods are available for residents to acquire. The Firestone Boulevard Gateway district will also encourage the establishment of dining and entertainment uses on the ground floor to facilitate a “restaurant row” environment.

▷ **Policy 1.1.5. Provide an appropriate amount of land area for recreation and entertainment.**

The Specific Plan encourages the addition of open space, parks, and recreational facilities, as well as entertainment uses, in all five land use districts. As identified in the General Plan, the Specific Plan is intended to establish Downtown as a destination for entertainment and dining opportunities in the region.

▶ Goal 1.2. Advance livable community concepts.

▷ **Policy 1.2.1. Promote livable communities concepts that allow added flexibility in addressing land use needs.**

The Specific Plan implements these programs and policies by creating a mixed-use area that includes a variety of commercial, residential, dining, and employment opportunities in a compact area. The majority of the businesses in Downtown are within a quarter mile walking distance from the core, located at Downey Avenue and Third Street, and the Specific Plan establishes guidelines to improve the walkability of the area. As shown in the Mobility chapter, a park-once strategy and includes efforts to incorporate bicycle lanes into the existing right-of-way and improve bus routes through Downtown.

▷ **Policy 1.2.2. Focus on areas where livable communities concepts are most likely to have the most impact as a catalyst for similar projects elsewhere in the City.**

The Specific Plan establishes Downtown as a destination point and unique experience for residents living in and around Downey by introducing new commercial, residential, dining, and other service uses in the compact area. The Specific Plan identifies existing uses, such as the movie theater, religious institutions, City Hall and the Embassy Suites hotel as catalysts for new development and will focus on specific land use districts to promote Downtown as the place to go for dining, entertainment, and shopping.

- ▶ Goal 1.3. Address changes in land use and zoning trends.

- ▶ **Policy 1.3.1. Minimize or eliminate conflicts where incompatible land uses are in proximity to each other.**

The Specific Plan development standards and urban design guidelines will identify specific permitted uses for each of the five land use to ensure that new and recycled uses are consistent with the character of Downtown. The Specific Plan also establishes unique architectural design and development standards regulating building facades, heights, setbacks, landscaping, and walkways, among other elements.

- ▶ **Policy 1.3.2. Monitor and address changes in land use trends.**

Prior to the adoption of the Specific Plan, Downtown included a range of zones, from residential to industrial. With the adoption of the Specific Plan, Downtown will be uniformly zoned as Specific Plan with specific permitted uses and development and design guidelines for each land use district.

- ▶ Goal 1.4. Protect and enhance the residential neighborhoods.

- ▶ **Policy 1.4.1. Promote neighborhood identity.**

The Specific Plan identifies a unique identity for Downtown as the center of the City. The Specific also establishes Downtown as a new residential neighborhood.

- ▶ **Policy 1.4.2. Promote residential construction that complements existing neighborhoods.**

The Specific Plan introduces new residential uses into Downtown. The Plan establishes a specific Core Residential land use district with the intention of promoting new residential development. The Specific Plan allows diversity in residential product types. The Design Guidelines and Standard chapter of the Specific Plan also promote compatibility between existing and future uses.

- ▶ **Policy 1.4.3. Promote home ownership.**

The Specific Plan allows for and encourages the introduction of both rental and home ownership opportunities in Downtown.

Circulation Element

- ▶ Goal 2.1. Increase the capacity of the existing street system.
 - ▷ **Policy 2.1.1. Maintain a street system that provides safe and efficient movement of people and goods.**

The Mobility chapter of the Specific Plan maintains the established grid street pattern and maintains an acceptable level of service to safely move people and goods throughout Downtown.
 - ▷ **Policy 2.1.2. Promote improvements in the street system through the development process.**

As the Specific Plan is implemented, roadway improvements will occur as necessary to ensure that roadways are used appropriately and that traffic flows are accommodated within Downtown. The Specific Plan also promotes a park-once strategy, encouraging trip consolidation.
- ▶ Goal 2.2. Promote the use of alternative modes of travel, other than single-occupant vehicles, to relieve traffic congestion.
 - ▷ **Policy 2.2.1. Promote site development design that is safe and convenient to pedestrians.**

The Specific Plan features new street design features to promote safe pedestrian movement throughout the Specific Plan area. As shown in Exhibit 4.5 of the Mobility Plan, curb extensions, augmented sidewalks, and raised crosswalks will be implemented to improve pedestrian safety.
 - ▷ **Policy 2.2.2. Promote bicycling as an attractive alternative to vehicular transportation**

As Downey has not implemented a bicycle master plan, the Specific Plan sets forth a framework for the City to initiate a citywide effort. The Specific Plan includes recommendations regarding the ideal locations for new bicycle lanes and potential connections from Downtown to the bikeways along the Rio Hondo River, the San Gabriel River, the Union Pacific Railroad Line, and surrounding communities.
 - ▷ **Policy 2.2.3. Reduce the number and length of vehicle trips generated by land uses in Downey.**

The main objective for Downtown is to create a mixed-use development that includes residential units, employment opportunities, and retail and dining options in a compact area. Although, expanded roadway improvements have been identified in the Downtown Downey Specific Plan Traffic Study to meet above

satisfactory level-of-service such improvements are not necessarily consistent with the overall goal of creating a vibrant, pedestrian and bicycle friendly Downtown. Generally, the recommended cross-sections for roadways within Downtown allow for wider sidewalks and narrower travel lanes. A sufficient level-of-service can be accomplished through implementation of a program to monitor conditions at specific intersections and roadway segments and potentially funding alternative improvements such as traffic signal coordination, ridesharing, transit information kiosks or improvements to the infrastructure for alternative modes of transport (walking, bicycling, NEVs).

▶ **Policy 2.2.4. Promote public transit as an attractive alternative to vehicular transportation**

The Specific Plan promotes the Downey Link and the Metro bus lines running through the City. The Downey Depot Transit Center is included in the Specific Plan area and recommendations are to increase the visibility of the bus lines by moving the station to a more prominent location and to position bus stops to promote use by residents living in and near Downtown.

▶ Goal 2.5. Minimize the impacts from the lack of parking.

▶ **Policy 2.5.1. Provide for adequate parking supply to meet parking demands.**

Prior to the completion of the Specific Plan, a parking study was conducted to identify any imbalances in parking opportunities in Downtown. The Specific Plan identified for shared parking opportunities, guidelines for each permitted land use and strategies to better utilize existing surface parking lots and structures.

▶ Goal 2.7. Maintain the City's infrastructure.

▶ **Policy 2.7.1. Provide adequate utility and communications infrastructure.**

The Specific Plan ensures that adequate utilities and communication infrastructure are provided in Downtown. The land use intensities proposed in the Specific Plan are actually significantly lower than the intensities proposed in the General Plan for Downtown and are consistent with the capacities of existing and planned infrastructure and public services.

Housing Element

▶ Goal 3.2. Encourage a variety of housing types and adequate supply of housing to meet the existing and future needs of City residents.

The Specific Plan accommodates a variety of housing types in Downtown. The Specific Plan includes a Downtown Residential land use district which specifically promotes the development of apartments, townhomes, live-work units, and other residential unit types. The Specific Plan encourages rental and ownership opportunities in order to accommodate residents with varying income.

- ▶ Goal 3.3. Expand and protect housing opportunities for all economic segments and special housing needs of the community.

The Specific Plan accommodates a variety of housing throughout Downtown, including both home ownership and rental opportunities. The Specific Plan allows for housing to be built at densities above 30 dwelling units per acre, which is the default density established through State legislation for the production of affordable housing. The City plans to work with housing developers interested in Downtown to create units affordable to residents earning a range of incomes are available.

Conservation Element

- ▶ Goal 4.2. Prevent the contamination of groundwater

- ▶ **Policy 4.1.1. Monitor and improve groundwater quality.**

The Specific Plan will not include uses or allow business practices that contribute to soil contamination that degrade groundwater quality. The City will approve and monitor the uses in Downtown to ensure that contamination does not occur.

- ▶ Goal 4.4. Preserve trees wherever possible.

- ▶ **Policy 4.4.1. Preserve trees on private and public property.**

Whenever possible, development will preserve existing trees on both public and private property. The Specific Plan also required that pedestrian pathways with a minimum of one twenty-four (24") inch box tree with a minimum mature canopy of fifteen (15') feet shall be planted on site for each 1,000 square feet of provided ground-level on-site open space.

- ▶ Goal 4.5. Encourage activities that improve the air quality.

- ▶ **Policy 4.5.1. Pursue every available means and opportunity to reduce air particulate and pollutants within the City and region.**

The Specific Plan implements this policy by creating a mixed-use area that includes a variety of commercial, residential, dining, and employment opportunities in a compact area. The majority of the businesses in Downtown are within a quarter mile walking distance from the core, located at Downey Avenue and Third Street, and the Specific Plan establishes guidelines to improve the walkability of the

area. As shown in the Mobility chapter, a park-once strategy and includes efforts to incorporate bicycle lanes into the existing right-of-way and improve bus routes through Downtown thereby reducing the number of vehicle trips in the City.

▶ **Policy 4.5.2. Improve air quality through land use decisions.**

The Specific Plan creates a diverse area with a variety of commercial, residential, dining, and employment opportunities within 131 square acres. The majority of the businesses in Downtown are within a quarter mile walking distance from the core, located at Downey Avenue and Third Street, and the Specific Plan establishes guidelines to improve the walkability of the area. By locating residential units near employment opportunities and creating new shopping, dining and recreational areas in walking distance, the Specific Plan will reduce the number of vehicle trips in and around Downtown.

▶ Goal 4.6. Conserve energy resources.

▶ **Policy 4.6.1. Promote the conservation of energy by residents and businesses to conserve energy**

The Specific Plan encourages new development to integrate energy efficient design and quality building materials whenever possible. The City will help developers achieve energy conservation efforts by providing information at City Hall.

Safety Element

▶ Goal 5.3. Maintain and improve fire protection services.

▶ **Policy 5.3.1. Provide adequate response to fire emergencies.**

The Specific Plan currently identifies that fire services are adequate to meet the needs of residents and businesses located within Downtown.

▶ Goal 5.4. Promote the protection of life and property from criminal activities.

▶ **Policy 5.4.1. Prepare for adequate response to crime.**

The Specific Plan currently identifies that police services are adequate to meet the needs of residents and businesses located within Downtown.

▶ Goal 5.6. Protect life and property from flooding hazards.

▶ **Policy 5.6.2. Minimize the potential for flooding due to stormwater generation.**

The Specific Plan currently identifies existing storm drains located within Downtown. Additional storm drains will be added as necessary as new development occurs.

- ▶ Goal 5.7. Reduce the likelihood of traffic accidents.

- ▶ **Policy 5.4.1. Promote traffic safety along streets.**

The Specific Plan recommends the introduction of pedestrian safety features along major roadways such as curb bump-outs and raised crosswalks to ensure pedestrians can safely cross the street.

- ▶ Goal 5.9. Promote the well-being and general health of those that live and work in Downey.

- ▶ **Policy 5.9.2. Promote healthy building design and use as a means to prevent future medical problems.**

The Specific Plan establishes a mix of uses within a compact, walkable area encouraging residents and employees to leave their cars parked and walk to their destinations in Downtown. In walking more residents are likely to increase their overall health.

Noise Element

- ▶ Goal 6.1. Protect persons from exposure to excessive noise.

- ▶ **Policy 6.1.1. Minimize noise impacts onto noise-sensitive uses.**

The Land Use Plan, specifically the Approved Land Use Table by District ensures that the appropriate uses are located within each land use district. As residential uses are introduced into Downtown the Planning Department is responsible for ensuring that the location of uses within each district is appropriate.

- ▶ Goal 6.2. Protect persons from exposure to excessive noise generated by various modes of transportation.

- ▶ **Policy 6.2.1. Reduce noise generated by vehicular traffic.**

To ensure that the area is safe for pedestrians and to maintain roadway noise, neighborhood-appropriate speed limits will be preserved within Downtown.

- ▶ Goal 6.3. Minimize noise impacts on noise-sensitive land uses.

- ▶ **Policy 6.3.1. Minimize the amount of noise generated by land uses.**

The Land Use Plan, specifically the Permitted Land Use Table by District ensures that the appropriate uses, taking into consideration the

amount of noise generated by the use, are located within each land use district. As residential uses are introduced into Downtown the Planning Department is responsible for ensuring that the location of uses within each district is appropriate. Generally any noise impacts resulting from the Specific Plan would be less significant as the Specific Plan proposes than the impacts of the General Plan as the

Open Space Element

- ▶ Goal 7.3. Increase the amount of park acreage.
- ▶ **Policy 7.3.1. Promote the expansion of the existing park system.**

The Specific Plan responds to the City's need for a comprehensive open space system to provide a variety of outdoor opportunities for residents, workers and visitors. To meet this need, the Specific Plan identifies areas with potential for conversion from their existing use to green space. The Open Space Opportunities section identifies areas with potential for redevelopment into a large civic park, pocket parks, and the development of pedestrian parkways throughout Downtown. Developers are required to pay an in-lieu parks fee that will finance the development of future parks in Downtown.

Design Element

- ▶ Goal 8.1. Promote quality design for new, expanded and remodeled construction.
- ▶ **Policy 8.1.1. Promote architectural design of the highest quality.**

The Specific Plan utilizes development standards and design guidelines to maintain and enhance the existing character of Downtown. Quality architectural materials and consistency with the style of adjacent buildings is required.

- ▶ Goal 8.2. Maintain and enhance the appearance of properties.
 - ▶ **Policy 8.2.2. Promote compliance with code regulations.**
- The Specific Plan encourages the implementation of a Business Improvement District (BID) which encourages business owners to be active in Downtown. Through the BID, code violations can be collectively addressed to improve the area as a whole.
- ▶ **Policy 8.3.2. Promote City-initiated streetscape enhancement projects.**
- The Specific Plan requires the implementation of pedestrian pathways with street trees and other pedestrian amenities to be funded through an in lieu fee paid as new development occurs.

▷ **Policy 8.3.3. Promote the installation of new trees.**

The Specific Plan requires that a minimum of one twenty-four (24") inch box tree with a minimum mature canopy of 15 feet be planted on site for each 1,000 square feet of provided ground-level on-site open space.

Economic Development Element

▶ Goal 9.2. Promote Downey as an employment center.

▷ **Policy 9.2.1. Promote job-generating uses.**

The Specific Plan identifies specific areas in Downtown that are appropriate for the creation of large employment centers and limits other uses in those districts to ensure that employment opportunities can be created.

▷ **Policy 9.2.2. Promote employment in various economic sectors to shield against business cycles.**

The Specific Plan identifies specific uses that are allowed in each land use district and varies the uses to ensure that new businesses are diverse.

9

Appendix B Definitions

City of Downey

Downtown Specific Plan



9. Appendix B: Definitions

Definitions - A

Accessory Building: A detached building for which use is subordinate to and incidental to that of the main building on the same lot. The accessory building may include a garage, carport, playhouse, hobby shop, cabana, accessory living quarters or guesthouse, greenhouse, garden tool house, and other similar buildings.

Accessory Use: A use incidental and subordinate to the principal use of the premises, which does not alter the characteristics of the use considered as a whole and as related to other uses permitted in the same zone.

Adult-oriented business: Refers to business which is conducted exclusively for the patronage of adults and as to which minors are specifically excluded from patronage, either by law and/or by the operators of such business, and which is characterized by an emphasis on "specified sexual activities" and/or "specified anatomical areas." "Adult oriented business" also means and includes any adult motion picture theater, adult bookstore/adult video store/adult novelty store, adult cabaret, adult dance studio, adult hotel or motel, adult theater, sexual encounter establishment, nude modeling studio, adult tanning salon, sex supermarket/sex mini-mall, and any other business or establishment that, on a regular and substantial basis, offers its patrons entertainment or services which involve, depict, describe or relate to "specified sexual activities" and/or "specified anatomical areas." These businesses are not allowed in the Specific Plan area.

Alcoholic Beverage Sales, Off-Premises: An establishment which, as an accessory use, sells alcohol for consumption off-premises.

Alcoholic Beverage Sales, On-site: An establishment where the primary use, (less than 50% of total sales) is to provide food service and where secondary uses may include the sale and on-site consumption of alcoholic beverages. The premises may contain a counter upon and over which alcoholic beverages, such as beer, wine, and distilled spirits are served but the total sale of alcohol will not exceed 50% of total sales.

Animal Boarding Facilities/Doggie Daycare: Includes any business or space maintained for the purpose of boarding or training dogs or cats over the age of four months for a fee or for sale. Boarding facilities may not keep animals overnight and are intended for day use only.

Animal Grooming: An establishment providing personal care of small domestic animals such as dogs, cats, parrots, canaries and other song and decorative

birds, hamsters and similar animals, but specifically excluding dangerous animals or dangerous or poisonous or constricting reptiles.

Animal Sales/Feed and Supplies/Pet Store: A retail store that specializes in the sale of domesticated animals and feed and supplies for such animals.

Antique/Collectible Store: A retail store that specializes in the sale of antiques and/or collectible goods that are at least forty (40) years old.

Apartment: A room, or combination of rooms, including bathroom and kitchen facilities, in a multiple-unit building and occupied by not more than one (1) family per dwelling unit.

Art Gallery: An art gallery is a space dedicated to the display and sale of original artwork.

Arts and Crafts Fair: An event dedicated to the exhibition and sale of original arts and crafts.

Automobile Parking Space: An off-street permanently maintained space readily accessible to a street or alley and so located and arranged to permit parking for a passenger automobile of average size.

Definitions - B

Banquet Facility: A room, hall, building(s), tent, or other enclosure, or portion thereof, enclosed on two (2) or more sides to accommodate special events, banquets, weddings, and other cultural events, where the capacity for public gathering or assembly does not exceed 500 people.

Bar/Night Club: Refers to an establishment that primarily sells or dispenses alcohol by the drink, and where the preparation and sale of food is incidental to the business. A bar operates under a license issued by the Alcoholic Beverage Control Department of the State of California. As part of its operation, a bar may have live entertainment (see definition) such as live music or a DJ. Typical businesses include: sports bars, taverns, pubs, nightclubs, and wine bars.

Bicycle Sales and Repair Shop: A retail store that specializes in the sale and/or repair of bicycles.

Bookstore: A retail store that specializes in the sale of new and/or used books.

Buildable Area: That portion of a lot which may be occupied by buildings or structures, but not including front, side, or rear yards or street setback areas, or the portion of such lot where other regulations prohibit the occupation of buildings or structures.

Building: Any structure built for the support, shelter, or enclosure of persons, animals, belongings, or property of any kind and having a roof supported by columns or walls and attached to the ground.

Building Frontage: The portion of a main building that is most nearly parallel to a street or a parking area.

Building Height: The vertical distance measured from the street curb level to the highest point of the coping of a flat roof, or to the highest point of a mansard roof, or to the highest gable of a pitch or a hip roof.

Build-to Line: A build-to Line is a line parallel to the front property line and marks the location from which the principle vertical plane of the front building elevation must be erected. Build-to lines are intended to create a continuous building façade along a street.

Business Office: See “Office Business and Professional.”

Definitions - C

Catering Service: A business that prepares and delivers food for consumption off the premises, for events like banquets or luncheons. A catering establishment may contain kitchen facilities and may also provide dining supplies such as place settings, tablecloths, and beverage dispensers.

CEQA: The California Environmental Quality Act, Public Resources Code Section 21000 et seq. and the California Environmental Quality Act Guidelines, as may be subsequently amended by the State.

Colleges and Continuing Education Facility: An institution of higher learning offering curriculum to advance students towards a degree. This use may include, for example, community colleges, private or publicly funded colleges, universities, or schools offering specialized business, professional, and vocational courses.

Commercial Recreation Facility: Any use or development, either public or private, providing amusement, pleasure or sport, diversion, exercise, or other resource affording relaxation and enjoyment that is operated primarily for financial gain. Typical uses may include health and fitness centers, batting cages, skating rinks, paintball, bowling alleys, pool halls, arcades, and miniature golf courses. This use excludes adult entertainment facilities.

Commission: The Planning Commission of the City of Downey.

Conditional Use: Uses that may be permitted, subject to approval of a Conditional Use Permit in accordance with Section 9824. Generally, conditional uses are those uses that have the potential for particularly sensitive, objectionable operating characteristics, or appearances, which may be out of character in a particular zone; which may make those uses suitable or unsuitable for a particular site or location.

Condominium (Residential): An estate in real property consisting of an undivided interest in common in a portion of a parcel of real property, together with a separate interest in space in a residential building on such real property, such as

an apartment, office, or store. A condominium may include, in addition, a separate interest in other portions of such real property.

Condominium Conversion: Applies to the converting of a single lot or building into a condominium, townhouse, stock cooperative, or a community housing/apartment project in any applicable zone.

Conference Facility: A room, hall, building(s), tent, or other enclosure, or portion thereof, enclosed on two (2) or more sides to accommodate meeting halls, convention centers, special events, theatre performances, banquets, and cultural events, where the capacity for public gathering or assembly does not exceed 1,500 people.

Council: The City Council of the City of Downey.

Court or Courtyard: An open, unoccupied space with no roof or cover, other than a required front, side, or rear yard, on the same lot with a building or buildings and which is bounded on two (2) or more sides by such building or buildings.

Courtyard Housing: A distinct medium density multi-family housing typology centered around a shared outdoor open space or garden and surrounded by apartment units or townhomes typically only accessed by courtyard from the street.

Cultural Institution: An institution displaying or preserving objects of interest in one (1) or more of the arts or sciences. This classification generally includes libraries, museums and art galleries where displayed objects are not intended for sale.

Cyber Café: An establishment that provides five (5) or more computers or other electronic devices to the public for access to the internet or a local area network (LAN), to email, or to other computer software programs. Cyber cafés shall be synonymous with PC cafés, internet cafés, and cyber centers.

Definitions - D

Day Care Center, Adult: An adult day care center is a non-residential facility specializing in providing activities for elderly and/or handicapped individuals. Typically centers operate 10 - 12 hours per day and provide meals, social/recreational outings, and general supervision. Adult daycare centers may also focus on providing care only for persons with Alzheimer's and related dementias or their services may be available for any disabled adult.

Daycare Home, Large: Includes facilities that provide day care to nine (9) to fourteen (14) children, inclusive, including children who reside at the home for periods of less than 24 hours per day, while the parent or guardians are away.

Daycare Home, Small: Includes facilities that provide family day care to eight (8) or fewer children, including children who reside at the home, while the parent or guardians are away.

Density: Residential dwelling units per net acre.

Dine-in Restaurant: See "Restaurant."

District: Refers to any of the Specific Plan land use districts indentified in Exhibit 2.1.

Drive-Thru Restaurant: A restaurant where a customer is permitted or encouraged, either by the design of physical facilities to be served while remaining seated in a vehicle including, but not limited to, drive-through or drive-in food. Drive-thru restaurants are not permitted in the Specific Plan area.

Drug Store/Pharmacy: An establishment where the primary business is the filling of medical prescriptions and the sale of drugs, medical devices and supplies, and nonprescription medicines, but where non-medical products may also be sold.

Dry Cleaning and Laundry Services: An establishment that caters to the cleaning service needs of the general public, including dry cleaning drop off locations and laundromats. Large-scale and commercial dry cleaning and laundry service facilities are excluded.

Duplex Dwelling Unit: A structure that contains two (2) units that share common walls or floor/ceilings. The land under the building or units is not divided into separate lots. The units may have separate or joint entrances, and typically have common parking and open space areas.

Dwelling, Multifamily: A building that contains three (3) or more dwelling units that share common walls or floor/ceilings. The land under the building or units is not divided into separate lots. The units may have separate or joint entrances, and typically have common parking and open space areas.

Dwelling, Single-Family: See "single-family dwelling."

Dwelling Unit: One (1) or more rooms arranged or used as living quarters by one (1) family and containing one (1) kitchen.

Definitions - E

Easement: Usually the right to use property owned by another for specific purposes or to gain access to another property. For example, utility companies often have easements on private property of individuals to be able to install and maintain utility facilities.

Elevation (Building): A drawing showing the elements of the exterior of a building as a direct projection to a vertical plane.

Environmental Impact Report (EIR): A report that describes and analyzes the environmental effects of a proposed project pursuant to the California Environmental Quality Act (CEQA).

Definitions - F

Façade: The major width of any exterior elevation of a building, extending from the grade to the top of the parapet wall or eaves, that is parallel to a street property line.

Façade Fascia: That portion of a separate exterior elevation of a building extending from above the door or window line to the top of the parapet wall or eave and the entire width of the building elevation parallel to the street property line.

Family: Two (2) or more persons living together as a relatively permanent single bona fide housekeeping unit in a domestic relationship based upon birth, marriage, or other domestic bond of social, economic, and psychological commitment to each other, as distinguished from a group occupying a boarding house, club, dormitory, fraternity, lodging house, motel, rehabilitation center, rest home, or sorority.

Farmers' Market: An open air (outdoor) market that is certified by the Los Angeles County Agricultural Commissioner where certified producers offer for sale only those agricultural products they grow themselves, and operated in accordance with regulations established by the California Department of Food and Agriculture, which includes the display of a valid health permit.

Fast Food Restaurant: An establishment where food and drink are prepared on premises, but are taken and consumed primarily off-site.

Financial Services/Banks/Credit Union: A commercial land use involved with the exchange of money and services related to the financial system such as banks or credit unions. Financial services do not include check cashing services or pay day loan facilities.

Fireworks Stand: A temporary space for the sale of fireworks immediately prior to the Independence Day holiday (July 4).

Fitness Studio: A space or business that is oriented to providing fitness classes or personal training to small groups of twenty (20) or fewer students. This use may include small dance studios, one-on-one personal training, yoga or Pilates studios, and other similar uses.

Floor Area: The total area of all floors contained within the exterior walls of all buildings on a lot or parcel of land.

Floor-Area Ratio (FAR): A term utilized to measure the allowable building intensity of non-residential structures on a site, calculated by dividing the gross floor area by the total net acres of the site. For example, on a site with 40,000 square feet of net land area, a Floor-Area Ratio (FAR) of 1.0 will allow a maximum of 40,000 square feet of gross floor area to be built, whereas a FAR of 1.5 allows 60,000 square feet of gross floor area, and a FAR of 0.5 allows 20,000 square feet of gross floor area. Compliance of non-residential projects covering multiple parcels with FAR building intensity restrictions may be calculated on an overall project basis rather than on individual parcels within the project; in such situations, the City of Downey may require reciprocal use agreements, parcel mergers, or specification of property owner rights and responsibilities through Covenants, Conditions, and Restrictions or other recorded documents.

Florist Shop: A retail store that specializes in the design, arrangement and sale of flowers.

Definitions - G

Gable, Roof: The generally triangular section of wall at the end of a pitched roof, occupying the space between the two (2) slopes of the roof.

Garage, Private: A fully enclosed detached accessory building or portion of a main building, enclosed on all four (4) sides and designed and used for the shelter or storage of automobiles, which provides the required off-street automobile storage space for the occupants of the premises.

Garage, Public: A building other than a private garage that is used for the shelter or storage of many automobiles in a large structure, which provides off-street automobile storage space for businesses in the surrounding area.

General Plan: The General Plan of the City of Downey adopted by the City Council.

General Commercial Services: An establishment providing general services to the public, including computer repair shops, tanning salons, carpet/rug/drapery cleaners, locksmith shops, plumbing shops, and similar services that are commercial in nature.

General Retail and Specialized Retail (New): An establishment, including a department store, variety store, discount store, or general store, etc., engaged in retail sales of new merchandise, including dry goods, apparel and accessories, small wares, sporting goods and equipment, bicycles and mopeds, musical instruments, arts and accessories, office supplies, books, stationery, jewelry, hobby materials, toys and games, cameras and photographic supplies, gifts, novelties and souvenirs, luggage and leather goods, fabrics and sewing supplies, florists and houseplant stores, artists supplies, tobacco shops, video rental, orthopedic supplies, party supply and rentals, religious goods, handcrafted items (stores for which may include space for crafting operations when such area is subordinate to retail sales), and other miscellaneous retail shopping goods.

General Retail and Specialized Retail (Used): An establishment, including a department store, variety store, discount store, or general store, etc., engaged in retail sales of used merchandise that is not considered to be antique (forty years or older), including dry goods, apparel and accessories, small wares, sporting goods and equipment, bicycles and mopeds, musical instruments, arts and accessories, office supplies, books, stationery, jewelry, hobby materials, toys and games, cameras and photographic supplies, gifts, novelties and souvenirs, luggage and leather goods, fabrics and sewing supplies, florists and houseplant stores, artists supplies, tobacco shops, video rental, orthopedic supplies, party supply and rentals, religious goods, handcrafted items (stores for which may include space for crafting operations when such area is subordinate to retail sales), and other miscellaneous retail shopping goods.

Government Facility: Any building, structure, or other facility operated by a legally constituted Federal, State, or local government authority providing services to the general population, including post offices, fire stations, police stations, courts, etc.

Grade: The average of the finished grade at the center of each wall of a building or structure provided, however, where walls are parallel to and within five feet of a sidewalk or curb, the grade shall be measured at the sidewalk or curb level.

Grade, Finished: The completed paved or graded elevation of a lot.

Grocery Store (Less than 10,000 sq ft): An establishment, less than 10,000 square feet in size, primarily engaged in selling food for home preparation and consumption, and may include butcher shops with no slaughtering.

Grocery Store (Greater than 10,000 sq ft): An establishment, greater than 10,000 square feet in size, primarily engaged in selling food for home preparation and consumption, and may include butcher shops with no slaughtering.

Definitions - H

Hardscape: Hardscape refers to non-planted areas that are usually treated with a surfacing material such as concrete, asphaltic concrete, pavers, etc.

Hardware store/Home Improvement: An establishment engaged in providing retail sale, rental, service, or repair and installation of home improvement products including building materials, paint and wallpaper, carpeting and floor covering, mattresses, decorating supplies, heating, air conditioning, electrical, plumbing, mechanical equipment, roofing, yard and garden supplies, home appliances, and similar home improvement products.

Hedge: A series of plants, shrubs, or other landscape materials so placed to form a physical barrier or enclosure.

Height, Building: See "Building Height."

Home Occupation: Any occupation conducted in the main building on a lot by a member of a family residing therein as an incidental use in connection with the primary residential use. Uses conducted in the home are subject to conditions per Section 9408.08 of the Downey Municipal Code.

Hookah Lounge: A hookah lounge (also called a hookah bar) is an establishment where patrons share shisha (flavored tobacco) from a communal hookah which is typically placed at each table.

Hotel (less than 30 rooms): A facility with guest rooms and/or suites, designed as temporary lodging, with or without meals, in which there are more than six (6) and less than 30 rooms, in which no provision is made for cooking in any individual room or suite. Typical uses include boutique hotels, bed and breakfast businesses and small specialized hotels.

Hotel (greater than 30 rooms): A facility with guest rooms and/or suites, designed as temporary lodging, with or without meals, in which there are more than thirty (30) guest rooms, and in which no provision is made for cooking in any individual room or suite. Typical uses include larger hotel facilities that accommodate a variety of users for business or leisure travel.

Definitions – I

Infrastructure: Public services and facilities, such as sewage-disposal systems, water-supply systems, other utility systems, and roads.

Definitions – J

Jewelry Store: A retail store that specializes in the design, sale, and/or repair jewelry.

Definitions – K

Kiosk, Permanent: A freestanding structure with a foundation located on private property not exceeding a maximum size of one hundred (100) square feet and compatible in design with other existing uses and buildings in the vicinity. A permanent kiosk will be operated for the purpose of vending food, drink, or retail goods or services.

Kiosk, Temporary or Semi-Permanent: A freestanding, temporary or semi-permanent structure having one (1) or more open air sides, operating on either private property or public rights-of-way and plazas, not exceeding a maximum of sixty (60) square feet and compatible in design with other existing uses and buildings in the vicinity. A temporary kiosk will be operated for the purpose of vending food, drink, or retail goods.

Definitions – L

Laboratories: Establishments providing medical or dental laboratory services or establishments providing photographic, analytical, or testing services.

Landscaping: The planting and maintenance of a combination of live plant materials to include: native or exotic trees, groundcover, shrubs, vines, flowers, and sod.

Landscaping, Drought-Tolerant: Landscaping characterized by the use of vegetation that is drought tolerant or requires low water use.

Landscape-Recreation Area: A usable area developed with a combination of landscaping and recreation facilities. Recreation facilities may consist of swimming pools, recreation rooms, game areas, benches, walks, putting greens, and other active and passive interior or exterior recreation facilities and may include private balconies. Landscape-recreation areas shall be in addition to the required side yard on corner lots abutting a street and the front yards required by this Specific Plan.

Laundry or Dry Cleaning Services: See “Dry Cleaning and Laundry Services.”

Live Entertainment: Any exhibition, demonstration, or display upon, or by, any person, or any sound, word, speech, song or other utterance, or any dance, posture, act or other movement, or any music or other sound manually produced from any instrument or article, by any person, in the presence of any audience, which agreeably occupies the mind, or pleasantly attracts, diverts or holds the attention, or is for the amusement, of any person in such audience. Live entertainment will primarily occur in businesses in Downtown such as bars or nightclubs and includes, but is not limited to: dancing, solo or group performances, singing, and DJ services.

Live/Work Unit: A commercial unit designed and intended to function as a work and living space for the person(s) (business operators or their employees and their households) who reside there and where the residential use is secondary or accessory to the primary use as a place of work. A live/work unit has adequate working space available for and is regularly used by the person(s) residing in the live/work unit and one (1) or more rooms with cooking and sanitation facilities in conformance with building code and disabled access (A.D.A. and State of California Title 24) requirements.

Loading Space, Off-Street: An off-street space on the same lot with a use or building, for the temporary parking of a vehicle, while loading or unloading merchandise or materials.

Lot Coverage: The percentage of the lot area covered by a structure or building, including all accessory buildings.

Lot: Any piece or parcel of land bounded, defined, or shown upon a plat or deed recorded in the office of the County Recorder of Los Angeles County, which conforms to the boundaries of such lot as shown upon such recorded map, plat,

or deed; provided, however, that in the event any building or structure covers more area than a lot as herein defined, the term "lot" shall include all such pieces or parcels of land upon which said building or structure is wholly or partly located together with the yards, courts, and other unoccupied spaces legally required for the building or structure.

Lot Line: The boundary line of a lot.

Low-Income Household: Households with an annual income that does not exceed the United States Department of Housing and Urban Development's annual determination for lower-income households based on area median income, adjusted for household size. Low-income typically refers to households earning fifty percent or less of the determined area median income.

Definitions – M

Mail and Shipping Services: An establishment primarily engaged in private postal services including shipping and mailing, mailbox rental, courier, delivery, and messenger services, and the sale of office, mailing, and moving supplies.

Marquee: A permanent roofed structure attached to, and supported by, a building and which projects over setback areas or public rights-of-way.

Massage Therapy Establishment: An establishment offering massage, acupuncture, alcohol rub, fomentation, electric or magnetic treatment, or similar treatment or manipulation of the human body, unless such treatment or manipulation is administered by a medical practitioner, chiropractor, acupuncturist, physical therapist or similar professional person licensed by the state as part of a medical clinic. This definition excludes a gymnasium/health and fitness center, school, barber/beauty shop, or similar establishment where massage or similar manipulation of the human body is offered by an individual as an incidental or accessory service and does not occupy more than 25 percent of the area of the establishment. This definition also specifically excludes Adult Massage Services as defined in Section 9402 of the Downey Municipal Code.

Mixed-Use Building: A structure containing both residential and commercial uses (which may include retail, restaurants, offices, services, and similar uses deemed compatible with residential uses). The commercial use or uses are typically located on the ground floor of the structure with the residential dwellings predominantly located on the second or higher floors (see Figure 9.1.9).

Mixed-Use Development: A project with both residential and nonresidential uses located on the same lot or site.

Moderate-Income Household: Households with an annual income that does not exceed the United States Department of Housing and Urban Development's annual determination for moderate-income households based on area median income, adjusted for household size. Moderate-income typically refers to households earning eighty percent or less of the determined area median income.

Motel: A group of attached or detached buildings containing individual sleeping rooms, without kitchens, for the temporary use of automobile tourists or transients for a period of not more than one hundred twenty (120) consecutive days and shall include auto courts, motor lodges, and tourist courts. This use is not permitted anywhere in the Specific Plan area.

Multi-Tenant Complex: Any combination of two (2) or more separately owned and operated businesses established on a single or commonly owned contiguous parcel of land, or that share common driveways for ingress/egress, or share five (5) or more off-street parking spaces.

Definitions – N

Newsstand: An establishment where newspapers and magazines are displayed and sold outdoors.

Nightclub: An establishment that is open late, generally featuring music, in conjunction with food and/or drink. A nightclub is usually distinguished from bars, pubs or taverns by the inclusion of a dance floor and a DJ booth, where a DJ plays recorded dance and pop music.

Non-conforming Building: A building or portion thereof which was lawfully erected or altered and maintained but which, because of the application of this article to it, no longer conforms to the regulations set forth in this article applicable to the district in which such building is located.

Non-conforming Structure: A structure or portion thereof which was lawfully erected or altered and maintained but which, because of the application of this article to it, no longer conforms to the regulations set forth in this article applicable to the district in which such structure is located.

Non-conforming Use: A use which was lawfully established and maintained but which, because of the application of this article to it, no longer conforms to the use regulations set forth in this article applicable to the district in which such use is located.

Non-Residential: Any use which does not include a dwelling unit as the primary use, including, but not limited to, commercial, industrial, educational, institutional, public, recreational, and agricultural uses.

Non-restricted Unit: With regard to density bonus development, all dwelling units within a residential development excluding the target affordable units.

Nursery and Garden Supply Store: A retail store that specializes in the sale of trees, flowers, plants, seeds, and other garden equipment.

Definitions – O

Occupancy, Change of: A discontinuance of an existing use and the substitution of a use of a different kind or class.

Office, Business and Professional: Offices, firms, other or organizations providing professional, executive, management, or administrative services, such as accounting, architectural, engineering, real estate, insurance, investment, legal, psychological, and medical/dental laboratories incidental to an office use. This use excludes banks, savings and loan associations and other similar financial institutions, and dental and medical offices.

Office, Medical and Dental: Offices and clinics used for the practice of medicine, chiropractic, dentistry, optometry, podiatry, and various forms of physical therapy. This use excludes the overnight care of a patient.

Open Space: Land areas that are not occupied by buildings, structures, parking areas, driveways, streets, or alleys. Open space may include land areas occupied by buildings or structures specifically designed for recreation purposes such as swimming pools and recreation buildings.

Open Space, Common: Open space reserved primarily for the enjoyment and recreational use of all residents of a residential development, such as a Planned Unit Development, condominium, or mixed-use development, and owned and maintained by all residents, generally through a homeowner's association.

Open Space, Private: Open space located adjacent to, and directly accessible from the living room, family room, kitchen or dining room of an individual dwelling unit that is designed, maintained, and reserved exclusively for the use of the residents of said unit.

Open Space, Usable: An open area or recreational facility that is designed and intended to be used for outdoor living and/or recreation.

Outdoor Patio Seating or Dining: An outdoor seating area attached or adjacent to a restaurant or similar uses that may or may not encroach into the public right of way.

Overlay Zone: A certain portion of the City where regulations relating to specific environmental, physical, or other characteristics (e.g., locational, economic, historical) are imposed in addition to those of the base zone covering the land in question.

Definitions – P

Parapet: A low protective wall along the edge of a raised structure such as a roof or balcony.

Parcel of Land: Parcel of land shall mean the same as lot.

Parks and Recreation Facilities: Noncommercial parks, playgrounds, recreation facilities, and open spaces.

Parking Assessment District: An assessment district formed pursuant to the California State Parking District Law of 1943.

Parking Lot and Parking Structures/Garage: An area or structure, closed or unenclosed, for the parking of motor vehicles plus those additional areas providing site ingress and egress to and from said area.

Parking, Shared: A public or private parking lot and/or parking structure/garage used jointly by two or more uses.

Parking Space, Compact: A reduced parking space, 8.5 feet wide and 16 feet long when perpendicular to a driveway or aisle, compared with the traditional 9 feet wide by 18 feet long.

Patio, Enclosed: A level, paved or decked area directly abutting a principal building that is enclosed on all sides, whose principal use shall be for outdoor entertaining or recreation. A patio is not used as a habitable room or as a parking space for vehicles.

Patio, Open: A level, paved or decked area directly abutting a principal building open on one or more sides, which may be covered or uncovered, whose principal use shall be for outdoor entertaining or recreation. A patio is not used as a habitable room or as a parking space for vehicles.

Paving: A solid concrete, tile, or brick surface, which serves as a covering for pedestrian/vehicular roadway.

Pedestrian-Oriented or Pedestrian-Friendly: Development that is designed with a primary emphasis on the street sidewalk and facilitating pedestrian access to the site and building rather than from auto access and parking areas. Buildings in such developments are generally placed close to the street and the main entrance is oriented to the street sidewalk. There are generally windows and display areas along the street façades of building and outdoor areas (such as plazas) that are oriented to pedestrians. Although buildings and parking areas may be provided, they are not emphasized in the design of buildings.

Pedestrian-Scaled: Designed to be accessible to pedestrians, as opposed to automobiles.

Permeable Paving: A paving material that permits water penetration to a soil depth of eighteen (18") inches or more, including non-porous surface material poured or lain in sections not exceeding one square foot in area and collectively comprising less than two-thirds of the total surface area of the lot and loosely laid materials such as crushed stone or gravel.

Permit: A document issued by the City pursuant to the provisions of this Specific Plan authorizing specific activities, uses, or structures together with the conditions

upon which such permit is issued, and the plans, specifications, reports, and approved modifications pertaining thereto.

Permitted: A use or structure that is allowed without the requirement for approval of a discretionary permit. However, some permitted uses and structures may require approval of nondiscretionary permits, such as Site Plan Review, Temporary Use Permits, Home Occupation Permits, Special Event Permits, Building Permits, etc.

Personal Improvement Services: Services or facilities including, but not limited to, music or photography lessons, fine arts, crafts, driving schools (excludes truck driving schools), and diet centers.

Personal Services: A commercial land use providing recurrently needed services of a personal nature. Personal services generally include barbershops, beauty and nail salons (including permanent cosmetic facial shading), seamstresses, tailors, shoe repair shops, photo processing, and photographic studios.

Place of Public Assembly: Any place designed for, or used for, the congregation or gathering of 20 or more persons in one room where such gathering is of a public nature. Assembly hall, church, auditorium, recreational hall, pavilion, place of amusement, dance hall, opera house, motion picture theater, outdoor theater, and theater are included in this definition.

Planned Unit Development: A tract of land that is developed as an integrated unit under single ownership or control.

Plot Plan: A scaled drawing of a lot and the adjacent and surrounding areas, showing the use and location of all existing and proposed buildings, structures, and improvements.

Pocket Park: A small neighborhood park of approximately one (1) acre or less.

Preferential Parking: Parking spaces designated or assigned, through use of a sign or painted space markings, for carpool and vanpool vehicles carrying commuter passengers on a regular basis that are provided in a location more convenient to a place of employment than parking spaces provided for employees' single-occupant vehicles.

Premises: Any portion of any lot and any portion of any building or structure contained thereon.

Principal Structure: The primary structure(s) within which is conducted the principal use of the lot.

Principal Use: The primary and predominate use on any lot.

Printing and Photocopy Services: An establishment offering photocopy or printing services by letterpress, lithography, gravure, screen, offset, or electrostatic (xerographic) copying, and other "quick printing" services, including establishments serving the printing trade such as bookbinding, typesetting,

engraving, photoengraving, and electrotyping. This use also includes establishments that publish newspapers, books, and periodicals; and establishments manufacturing business forms and binding devices.

Professional Office: See "Office Business and Professional."

Public Uses: A class of uses, generally open to the public and maintained and supported by public or nonprofit agencies or organizations and which are of a recreational, civic, educational, religious, institutional, or cultural nature.

Public Utility: Any entity authorized under regulation by the Public Utilities Commission approved for the provision of public utilities. This use may include any of the following facilities: electrical substations and switching stations, natural gas regulating and distribution facilities, public water system wells, treatment plants and storage, telephone switching facilities, wastewater treatment plants, settling ponds, and disposal fields. This use may also exclude telecommunications facilities.

Definitions – R

Research and Development: An establishment which engages in scientific research, and/or the design, development and testing of computer software, and electrical, electronic, magnetic, optical, and mechanical components in advance of product manufacturing, not associated with a manufacturing facility on the same site. This use includes chemical and biotechnology research and development.

Residential Accessory Structures: Any structure that is customarily part of a residence, and clearly incidental and secondary to a residence and that does not change the character of the residential use. Residential accessory structures include garages, carports, storage buildings, workshops, hobby shops, greenhouses, cabanas, art or music studios, children's playhouses or playground equipment, patio covers, gazebos, arbors, pergolas, pavilions, fireplaces, fire pits, barbeques, water features, and other similar structures.

Residential Care Facility, Small: Residential facilities approved and licensed by the State of California in a single-family dwelling in which group care, supervision and/or assistance are provided for a maximum of six (6) persons under the age of eighteen (18) years or over the age of sixty (60) or for persons who have a disability as defined herein. This use excludes family day care, adult day care, foster care or any medical services, including nursing services, beyond that required by the residents of the facility for sustaining the activities of daily living. Examples of residential care facilities include, but are not limited to, facilities for the following:

- (a) Developmentally or mentally disabled;
- (b) Substance abuse recovery;
- (c) Dependent and neglected children;

- (d) Physically disabled; or
- (e) Wards of the court.

Residential Development Density Bonus: With regard to density bonus development, any project requiring any Specific Plan, Development Agreement, Planned Unit Development Permit, Tentative Map, Minor Subdivision, Conditional Use Permit, Site Plan Review, or Building Permit, for which a development review application has been submitted to the City, and which would create five (5) or more additional dwelling units by construction or alteration of structures, not including conversion of existing dwelling units to condominiums.

Restaurant: An establishment where food and drink are prepared, served, and consumed by the general public primarily within the principle building. Some types of establishments included within the term "Restaurant" are bakeries, delicatessens, dessert stores, doughnut shops, juice bars, pastry shops, tea houses, cafes, cafeterias, coffee houses, coffee shops, dinner houses, pancake and waffle houses, and sandwich shops. Restaurants can be further defined into three types:

- (a) Dine-in Restaurant: Includes restaurants with or without a bar or lounge area which provides food delivered to tables or dining counters, and only incidental carry-out service.
- (b) Fast-food/Drive-thru Restaurant: Includes delicatessens, drive-ins, etc. which provide quickly or previously prepared food to a service counter, whereby the patron carries the food out or to an indoor or outdoor seating area.
- (c) Take-out Restaurant: Provides quickly or previously prepared food to a service counter, whereby the patron carries the food off-premises for consumption.

Retail: See "General Retail/Specialized Retail."

Right-of-Way: An area or strip of land, either public or private, on which a right of surface passage has been recorded. Thus, the right-of-way shall include a public right-of-way, a common lot containing a private street, or other public or private right of surface passage consistent with this definition.

Right-of-Way, Ultimate: The ultimate right-of-way is the required width of any street or highway, determined by the City Engineer, as shown on the maps on file in the office of the City Engineer, or as shown on a Master Plan of Street and Highways approved by the City Council, or as shown in the General Plan.

Roof: A structural covering over any portion of a building or structure, including projections beyond the walls or support of the building or structure, which is permanently attached.

Roof-Mounted: Wireless communication service antennas that are mounted on any structure that is not specifically constructed for supporting antennae, in any manner that does not satisfy the definition of “wall mounted.”

Definitions – S

Senior Citizen: A person 62 years of age or older or, in a senior citizen housing development of at least 150 dwelling units, a person 55 years of age or older.

Senior Citizen Apartment Project: With regard to density bonus development, a residential development of 35 dwelling units or more designed for permanent residency by qualifying residents in accordance with California Civil Code Section 51.3. This definition pertains to the density bonus allowed for senior housing units allowed in accordance with the State Density Bonus provisions, and includes mobile home parks.

Senior Citizen Housing Development: Residential development consisting of at least five dwelling units that are developed or substantially rehabilitated or renovated to the provisions of Section 9418 of this article. Senior citizen housing developments do not include those facilities providing medical care or “care and supervision” as defined by this article.

Setback Line, Front: The line that defines the depth of the required front yard. Said setback line shall be parallel with the street line or the line established by the General Plan, and be removed there from by the perpendicular distance prescribed for the front yard in the zone.

Setback Line, Rear or Side: The line that defines the width or depth of the required rear or side yard. Said setback line shall be parallel with the property line, removed there from by the perpendicular distance prescribed for the yard in the zone. Where the side or rear yard abuts a street, the distance shall be measured as set forth in “setback line, front.”

Setback, Street Side: On a lot that abuts two or more streets at their intersection, the line that defines the width of the required side yard on the street side. Said setback line shall be parallel with the street line, removed there from by the perpendicular distance prescribed for the yard in the zone.

Screen Planting: Landscaping, at least thirty (30”) inches high, designed to screen or otherwise hide from view certain elements of development, such as parking lots, utility structures, and the like.

Sidewalk: A right-of-way designed for the use by pedestrians and not intended for use by motor vehicles of any kind. A sidewalk may be located within or without a street right-of-way, at grade, or grade separated from vehicular traffic.

Sign: Any device designed to inform or attract the attention of persons not on the premises on which the sign is located as follows (refer to Chapter 6 of this article for sign illustrations):

- (a) Any structure, board, fence, card, cloth, paper, metal, wooden, plastic, painted, printed, or lighted structure of any character used for outdoor advertising purposes or any structure upon which any advertisement is shown, or whereon any poster, bill, printing, painting, device, or other advertising matter of any kind whatsoever may be attached or painted, whether placed on the ground or on shrubbery, rocks, fences, walls, buildings, or other materials or structures.
- (b) The previous definition is intended to include, as well as all other structures and advertising media therein set forth, billboards, outdoor advertising, flags, posters, displays, and signs, whether ground, projecting, roof, wall, or banner.
- (c) Works of art shall include, but not be limited to, murals, structures, paintings, mosaics, photographs, and statues depicting ideological expression, and which in no way refer to the business at which such work of art is located.

Sign, Area: The entire surface area of a sign including nonstructural trim, but excluding supports, uprights, or structures upon which the sign is supported.

Sign, Background Area: The entire background area of a sign upon which copy could be placed.

Sign, Banner: A nonpermanent sign composed of fabric, pliable plastic, paper, or other light material not enclosed in a rigid frame or secured or mounted so as to allow movement by the atmosphere to cause movement of the sign, including flags, streamers, and pennants.

Sign, Changeable Copy: Sign in which the copy/text may be changed or rearranged without altering the face or the surface of the sign, and which may be rearranged manually, mechanically, or electronically. The display of time and temperature information is not considered a changeable copy sign.

Sign, Construction: A temporary sign during a period of construction stating the type or purpose for which the building is proposed and may include the name, address, and telephone number of businesses directly related to the construction project.

Sign, Copy: Any word, letter, number, figure, picture, design, or other representation incorporated into a sign to convey a message and to attract attention to the subject matter.

Sign, Copy Area of: The actual area of sign copy applied to any background.

Sign, Copy Change and/or Text Change: The change of an existing message within the existing legal sign.

Sign, Directional: On-premise signs designed to guide or direct pedestrian or vehicular traffic.

Sign, Freestanding: Any sign supported wholly by uprights or braces placed in or upon the ground, including poster panels and painted bulletins.

Sign, Height: The height of a sign shall be measured from the finished grade to the top of the sign including any element thereof. The finished grade of a bermed sign with a maximum of a 2:1 slope shall be measured from the crest of the berm. For half-berms or berms with greater than 2:1 slopes, the finished grade shall mean the average of the finished grade at the center sign structure, provided where the sign is parallel to and within five feet of a sidewalk, or curb, the grade shall be measured at the sidewalk or curb level.

Sign, Holiday Decorations: The use of decorations, displays, or other materials which may not comply with the requirements of this article, but may be used for the purposes of recognizing traditional holidays, such as, but not limited to, Easter, July 4th, Halloween, Thanksgiving, and Christmas.

Sign, Illegal: Any sign installed or constructed without proper approval and/or permits as required by this article or any nonconforming sign that has exceeded its authorized amortization period.

Sign, Illuminated: A sign in which a source of light is used to make the copy readable. This definition shall include internally and externally lighted signs and reflectorized, glowing, or radiating signs.

Sign, Indirectly Illuminated: A sign illuminated with a light directed primarily toward such sign, including back lighting, and so shielded that no direct ray from the light is visible.

Sign, Interior Illuminated: A sign in which illumination is provided entirely within the perimeter of the sign structure and which cannot be seen directly from without.

Sign, Marquee: Any sign attached to a marquee.

Sign, Monument: A low-profile sign, which is an integral part of a landscaping plan, located between a building or street setback line and a street property line for identification purposes, and having a solid base support.

Sign, Nonconforming: A sign which was lawfully erected, altered, or maintained but which, because of the application of this article to it, no longer conforms to the use regulations set forth in this article applicable to the district in which such use is located.

Sign, On-Premises: A sign which carries only advertisements strictly incidental to a lawful use of the premises on which it is located, including signs or sign devices indicating transacted; services rendered; goods sold or produced on the premises; name of the business; and name of the person, firm, or corporation occupying the premises.

Sign, Outdoor Advertising: Any billboard or advertising structure bearing a sign, which is erected upon the ground, or any sign attached or painted on a building that directs attention to a business commodity, industry, or other activity which is

sold, offered, or conducted elsewhere than on the premises. Such signs shall include signs mounted on wheeled vehicles when used as a directional sign expressly for directing automobile, pedestrian, and other forms of traffic to a specific business location. Such signs shall also include any sign of which more than twenty (20) percent is devoted to the advertising of a commodity or service that is not the exclusive commodity or service being sold or rendered on the premises or part of the name of the business concern involved.

Sign, Projecting: A sign mounted on a building wall in which the sign fascia is not parallel to the building façade or façade fascia.

Sign, Primary: One wall sign mounted on the front façade or front fascia of a business, to identify its name or service rendered.

Sign, Roof: Any sign erected upon or over the roof of any building or which is partially or totally supported by the roof or roof structure of the building. Signs attached to a mansard roof shall be considered a wall and shall not extend beyond the exterior lines of the roof or exceed other wall sign standards.

Sign, Statuary: A statue or other three-dimensional structure imitating or representing a person, animal, or object which is sculptured, molded, or cast in any solid or plastic substance, material, or fabric and used for commercial or industrial purposes.

Sign, Support: Any structure, containing no copy, excepting street addresses, which supports or is capable of supporting any sign as defined in this article. A sign support may be a single pole or may be an integral part of the design of a building.

Sign, Temporary: A sign constructed of paper, cloth, canvas, or other similar lightweight material, with or without frames, including window displays intended to be displayed for a period not to exceed the period of time set forth in a particular district.

Sign, Wall: A sign affixed in any manner to the wall of a building or structure which projects not more than eighteen (18") inches from the building wall and which does not extend beyond the façade of the building on which it is located. Wall signs shall include signs attached to a mansard roof.

Sign, Window: A sign that is applied or attached to the exterior or interior of a window or located in such a manner within a building that its purpose is to be viewed from the exterior of the building through the window. Vertical and/or horizontal separations less than six (6") inches in width shall be viewed as a window without separation. Separations greater than six (6") inches in width shall be considered separate windows.

Site: A contiguous area of land, including a lot or lots or a portion thereof, upon which a project is developed or proposed for development.

Single-Family Dwelling: A detached residential dwelling unit, designed for occupancy by one (1) family, and may also include housing types described in Government Code Section 65852.

Single-Family Dwelling, Attached: Single-family attached means a dwelling unit that is structurally connected with at least one other such dwelling unit and typically two or three (2-3) stories in height. Each unit has its own front and rear access to the outside, no unit is located over another unit, and each unit is separated from any other unit by one or more common fire resistant walls. Examples of single-family attached dwellings include townhomes and duplexes.

Single-Family Dwelling, Detached: A dwelling unit occupied or intended for occupancy by only one (1) household that is structurally independent from any other such dwelling unit or structure intended for residential or other use.

Site Plan Review: An administrative process conducted in accordance with Section 9820 of the Downey Municipal Code.

Smoke and Cigar Store: A retail store that specializes in the sale of cigars, tobacco, and other related items.

Special Event: A temporary outdoor use that extends beyond the normal uses and standards allowed by this article. Special events may include, but are not limited to art shows, sidewalk sales, pumpkin and Christmas tree sales, haunted houses, carnivals, special auto sales, grand openings, festivals, home exhibitions, and church bazaars.

Specific Plan: A plan, adopted by City Ordinance, which shows the future physical development to be implemented within a specifically defined and circumscribed area of the City. The Specific Plan describes the types of land uses to be developed on each parcel; a plan for infrastructure in and adjacent to the Specific Plan area; and written standards, regulations, and policies for such items as architectural design, open spaces, preservation of existing structures, and other relevant factors.

Story: That portion of a building included between the upper surface of any floor and the upper surface of the floor next above, except that the topmost story shall be that portion of a building included between the upper surface of the topmost floor and the ceiling or roof above.

Street: Any public right-of-way or private recorded thoroughfare that affords a principal means of access to an abutting lot (see "Alley" and "Freeway").

Street Frontage: The length of a lot facing a street that affords direct public access to the lot.

Street Furniture: Those features associated with a street that are intended to enhance the street's physical character and intended for use by pedestrians (the general public), such as benches, trash receptacles, lights, and newspaper racks.

Street Line: The boundary line between a street and abutting lot (see “Lot Line, Front”).

Street Setback Line: A line parallel to a street line extending the full width or length of a lot with a minimum required horizontal distance from the street centerline or right-of-way line.

Streetscape: The linear environment along a right-of-way created by the placement and design of buildings, trees, open spaces, street furniture, and infrastructure.

Street Right-of-Way Line: The existing or proposed future ultimate width of a public or private right-of-way as determined by the City Engineer. Street right-of-way line shall mean street line.

Structure: Anything constructed or erected which requires a location on the ground or which is attached to something having a location on the ground, but not including fences or walls seven (7) feet or less in height.

Structural Alteration: Any change in the supporting members of a building such as bearing walls, columns, beams, girders, floor joists, roof joists, or foundations.

Subdivision: The process of dividing land and/or structures for parcelized sales. This process involves either parcel or tract maps.

Swap Meet/Flea Market: A place or location which has been advertised by any means whatsoever as a place or location to which members of the public, during a specified period of time, may bring property and exhibit it for sale or exchange.

Definitions – T

Tailor Shops, Shoe Repair Shops: An establishment which engages in the repair of clothing, linens, and shoes, but does not manufacture items.

Take-Out Restaurant: See “Restaurants”

Temporary Event: An event held either indoors or outdoors for no longer than four consecutive days, which may include music festivals, stage or theatrical shows, sports events, fairs, carnivals, rodeos, automobile shows, sales or races; off-road vehicle sales, shows or races; animal sales, shows or races; heavy equipment auctions, and tent revival meetings.

Temporary Parking: The temporary parking of a licensed motor vehicle for a period of time not exceeding twelve (12) hours in any twenty-four (24) hour period.

Temporary Structure: Any structure that is readily movable and is not attached to a permanent foundation, and is used or intended to be used for a period not to exceed sixty (60) days. Such structure shall be subject to all applicable property development standards for the zone in which it is located.

Temporary Use: A use which is associated with a holiday or special event, or which is accessory to a permitted use and transitory in nature.

Tenant: The lessee of residential or other facility space at an applicable development project.

Tot Lot: An improved and equipped play area for small children usually up to elementary school age.

Townhouse: An arrangement of single-family dwellings, joined by common walls on not more than two (2) sides, with the uppermost story being a portion of the same dwelling located directly beneath at the grade of the first floor level, and having exclusive individual ownership and occupant rights of each dwelling unit, including, but not limited to, the land area directly beneath such dwelling.

Traffic Calming: Measures that reduce motorist speed, decrease motor vehicle volumes, reduce cut-through traffic, enhance the street environment, and/or increase safety for pedestrians and non-motorized vehicles. Mostly includes physical features, but may also include educational programs, traffic enforcement, and traffic operation changes.

Transit Center: A passenger station and/or terminal for vehicular and rail mass transit systems. Also terminal facilities providing maintenance and service for the vehicles operated in the transit system and may include buses, taxis, railway, subway, etc.

Transportation Demand Management (TDM): The incentive for alteration of travel behavior, usually on the part of commuters, through programs, services, and policies, TDM includes alternatives to single-occupant vehicles such as carpooling and vanpooling, and changes in work schedules that move trips out of the peak period or eliminate them altogether (as in the case of telecommuting or compressed work weeks).

Travel Agency: A retail business that sells travel related products and services to customers, on behalf of suppliers, such as airlines, car rentals, cruise lines, hotels, railways, sightseeing tours and package holidays that combine several products.

Trip Reduction: Reducing the number of vehicle trips primarily by single-occupant vehicles.

Tutoring Facilities/Educational-Activity Center: A business or facility that is oriented to provide tutoring assistance, work space or extra-curricular activities to small groups of twenty (20) or fewer students. This use may also include music schools, language schools, driver education schools, testing centers or preparation courses, or similar types of classes.

Definitions – U

Use: The purpose for which a lot or building is arranged, designed, or intended or for which either is, or may be, occupied or maintained.

Use Classifications: Categories of land uses.

Utilities: A water, gas, electricity, or sewer facility and accompanying office and maintenance yard.

Definitions – V

Veterinary Office: An establishment providing for the medical treatment of common household pets with no provisions made for boarding, outside runs or kennels; except that overnight care incidental to medical treatment and short-term boarding is permitted.

Definitions – W

Warehouse: A use engaged in storage, wholesale, and distribution of manufactured products, supplies, and equipment, excluding bulk storage of materials that are flammable or explosives or that present hazards or conditions commonly recognized as offensive.

Wireless Communication Facility: An antenna structure and any appurtenant facilities or equipment located within City limits that provide commercial wireless service.

Definitions – Y

Yard: An open space abutting a front, rear, or side lot line of a lot that is unoccupied and unobstructed from the ground upward, except as otherwise provided in this article. Yard shall also mean the required setback area for a building or structure from a property line.

Definitions – Z

Zone: A section of the City to which regulations governing the height, area, use, size of buildings and structures, and other uniform regulations apply. For the Specific Plan area, five (5) land use districts have been established that dictate the development standards for the properties within the project area.



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City of Downey

Downtown Specific Plan

 Planning
in Motion
Hogle-Ireland, Inc.

URBAN STUDIO

