

3

Urban Design Standards and Guidelines

City of Downey

Downtown Specific Plan



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3. Urban Design Standards and Guidelines

3.1 Introduction



Image: The implementation of the urban design standards and guidelines will result in a built environment that creates human-scale architecture, new infill that harmoniously mixes old and new buildings, a vibrant streetscape, and an enjoyable pedestrian experience.

3.1.1 Why Urban Design Standards and Guidelines?

Downtown Downey is a landmark suburban center that, with care, will evolve into a vibrant and active pedestrian-oriented town center. The design standards and guidelines of this Plan direct that the reuse of existing buildings and new infill development reflect the values of local residents and stakeholders. These values include: a family-oriented, safe, walkable, and attractive environment that includes a mix of new, old, and human-scale commercial, residential, and mixed-use projects, and new open spaces, green streets, and landscape that Downey residents, Downtown shoppers, and visitors to this City all enjoy.

3.1.2 Projects subject to the Downtown Downey Urban Design Standards and Guidelines

All repair, alteration, addition, construction, and development projects within the Downtown Specific Plan area, as shown in Exhibit 1.2, are subject to the standards and guidelines of this Plan, with the exception of projects that include 1) maintenance work that does not include structural alterations other than those

required by law or those required to make the structure and use conform to the standards and use regulations of the zoning district in which such use, building or structure are located and 2) ordinary repairs and the repair or replacement of nonbearing walls (exclusive of storefront), fixtures, wiring, and plumbing that does not exceed ten (10) percent of the current replacement cost of the building or structure within a period of twenty-four (24) consecutive months.

3.1.3 Use of the Urban Design Standards and Guidelines

The Downtown Downey Specific Plan design standards and guidelines shall be used by landowners, developers, tenants, and their consultants, such as architects, who propose any, alteration, addition, construction, and/or development projects within the Downtown Specific Plan area. City staff shall use this Plan to review projects for 1) compliance with the design standards, and 2) compliance with the intent of the design guidelines. Individuals and entities proposing projects within the Downtown Specific Plan area should review and understand these standards and guidelines before initiating the design and development process. To facilitate project approvals, questions regarding the design standards and guidelines, as well as other development-related questions, shall be discussed with the City Planner or designee as early in the development process as possible.

Individuals and entities proposing projects shall use these design standards and guidelines at each project stage to shape concepts and designs to realize compatible architecture and urban design that meets City of Downey requirements and expectations. City staff and others use these standards and guidelines to understand proposed projects in relationship to approved objectives, goals, standards, and guidelines.



Image: This three-story mixed-use development creates an active sidewalk at ground level and retail with overlooking residential uses on upper stories.

3.2 Established Conditions and Urban Design Opportunities



Image: The existing small town main street scale and design features unique to Downtown Downey should be preserved and used as a base for future development decisions.

There are many existing urban design features in Downtown Downey that provide a foundation to establish a successful and pedestrian downtown. The grid street pattern creates short blocks that encourage pedestrian movement. Buildings front immediately upon the sidewalk, providing storefronts that generate pedestrian interest. Additionally, the City's original suburban-scale remains intact and should be preserved and utilized as a foundation for future development decisions.

At the turn of the 21st century, the City of Downey initiated downtown streetscape improvements, starting along Downey Avenue. The new sidewalks, shade trees, and street furniture – public realm enhancements – encourage gathering, strolling, and shopping. However, additional public realm treatments and greater attention to the private structures and spaces are needed to create a vibrant environment that welcomes the surrounding community. Future initiatives should:



1. Improve the gateway identity of Firestone Boulevard: Street trees, medians, parkways, pedestrian lighting, and improved crosswalks should be added along the street to increase safety and promote character. Additionally, increasing the scale of structures along this street will distinguish Downtown from surrounding neighborhoods, introduce Downtown as a unique center, and establish a needed outdoor gathering space along this important street that invites activity.



2. Create a primary east-west pedestrian street: Improving Third Street as a pedestrian-oriented complement to Downey Avenue will better connect the latter to the movie theaters, link the Civic Center to the Rives Mansion, and highlight Downey Avenue and Third Street as gathering place for the community.



3. Create well-landscaped community gathering spaces: Replacing vacant lots and surface parking with on-site open space including courtyards, pocket parks, and public greens will increase the sense of place and attractiveness of Downtown.



4. Increase transit connectivity: Relocating Downey Depot from south of Firestone Boulevard to a central and more accessible location in Downtown will increase access and connectivity to dining, shopping, and residences within Downtown Downey.



5. Conserve the legacy scale and encourage new infill construction: New infill construction that blends with existing older structures and provides space for a variety of business types in the downtown should be encouraged.



6. Emphasize sidewalk vitality with each new building: Buildings in Downtown Downey should build upon legacy-scale built-form patterns and incorporate sidewalk-hugging facades featuring storefronts that invite sidewalk activity. To further incorporate the new with the old, infill construction and repair projects should relate to the existing one- and two-story scale.

3.3 Downtown Downey Urban Design Vision and Principles

The following vision, design standards and guidelines of this Plan build upon these observations and consequent design opportunities.

3.3.1 Urban Design Vision



Image: Greening of Third Street between the Civic Center and the Rives Mansion, with complementary residential-over-retail mixed-use infill projects, will extend downtown activities east and west and create a new public realm amenity that complements Downey Avenue.

The design standards and guidelines of this plan encourage continuity from the past to the future. Downtown identity is introduced along Firestone Boulevard in the form of enhanced medians and crosswalks and more street trees. Four-, five-, and six-story commercial structures along this street incorporate landscape setbacks and stepbacks, and bring more people to the area on a daily basis to patronize local businesses. Professional services cluster along Paramount Boulevard in lower buildings, reinforcing the character of this downtown edge. Two- and three-story tall sidewalk-oriented buildings with well-detailed storefronts are interspersed amidst Downey's older core architecture, fostering an outdoor "Main Street" scale that encourages exploration throughout the Downtown. Linking Downtown east and west, and complementing Downey Avenue's north-south emphasis, Third Street is reconceived as a complete green street, connecting the Civic Center to the Rives Mansion and establishing a place for outdoor festivals, farmers markets, concerts, and strolling. Along this street, mixed-use buildings, with residential over retail, extend the town-scale of Downey Avenue throughout the center.

Residents and employees living and/or working in and around the core enjoy easy access to and from Downtown. Many ride their bicycles into the heart of Downtown along New Street. Others make connections along the Second Street transitway, hopping on and off local and regional buses. Patrons "park once" in

garages scattered throughout the area, then walk and enjoy the town throughout the day and into the evening.

This urban design vision mingles the new with the old. The standards and guidelines that result from this vision encourage human-scale buildings and places, facilitate the greening of Downtown, establish the basis for an enhanced public realm, and ensure that sidewalks and storefronts are interesting and vital. First and foremost, this vision builds upon and seeks to enhance the legacy of Downey's existing small town feel - and propel it into an even more vital 21st Century.

Image (top): Wide sidewalks with landscaped bulb-outs and transparent storefronts at the back of sidewalks invite pedestrian activity.

Image (middle): New storefronts revitalize older structures for new use.

Image (bottom): Infill architecture fits the existing town scale relating rooflines and proportions to older structures.

3.4 Urban Design Principles

The design standards and guidelines for Downtown Downey are guided by the following principles:



1. Architecturally each new project should facilitate a pedestrian-oriented, ground-related, live and work, walk-to-work, and sustainable Downtown Downey: design standards and guidelines direct property owners, developers, and individuals to contribute architecture that creates a sidewalk-oriented and mixed-use town center.



2. Develop and revitalize with both new and old architecture: design standards and guidelines encourage both the realization of new infill buildings and the reuse and revitalization of older structures.



3. Relate overall building scale to Downey's legacy townscape: design standards and guidelines advance new structures that acknowledge through setbacks, step-backs, and building detail, the one- and two-story legacy and scale of Downey's downtown.



4. Promote public and private greening with each project: design standards and guidelines encourage the creation of on-site landscaped open spaces such as courtyards, the greening of sidewalks, and the introduction of new open spaces.

Image (top):
Lush residential gardens enhance residential common spaces.



5. Relate and link new architecture directly to sidewalks and right-of-ways: design standards and guidelines promote buildings that create street facades and architectural interest at sidewalks. Standards and guidelines in particular support sidewalk interest at the first floor of new and renovated buildings through incorporation of well-detailed storefronts, building entries oriented to streets, and transitional spaces between sidewalks and entries such as terraces, landscape buffers, arcades, porches, stoops, recessed entries, and portals to at-grade courtyards.

Image (middle):
Wide and transparent openings merge sidewalk areas and store interiors into one inviting space.



6. Realize human-scale architectural detail in every project: design standards and guidelines call for incorporation of material expression, detail, human proportion, storefronts, windows, entries, and architectural expression to realize an eclectic and innovative townscape.

Image (bottom):
A variety of architectural details contribute to a building that incorporates human scale.

3.5 Urban Design Quick Reference Table

Table 3.1:
Urban
Design Quick
Reference
Table

Design Standards and Guidelines	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Minimum Lot Size	2,500 SF	5,000 SF	20,000 SF	10,000 SF	*
Maximum Floor Area Ratio (FAR) (See Section 3.6.1, Exhibit 3.1)	1.5 FAR	1.5 FAR/ maximum 0.5 Commercial FAR	3.0 FAR	2.0 FAR	*
Maximum Height Limit (See Section 3.6.2, Exhibit 3.2)	3 stories/ 45 ft	4 stories/50 ft	6 stories/75 ft	4 stories/50 ft	*
Minimum/Maximum Density	20-40 du/ac	8-40 du/ac	40-75 du/ac	20-40 du/ac	*
Minimum Unit Sizes	One bedroom - 600 square feet Two bedroom - 750 square feet Three bedroom - 1,000 square feet				*
Required Step-backs (Section 3.6.3, Exhibit 3.5)	Min. 12 feet above 25 feet along Downey Ave.	N/A	Min. 12 feet above 45 feet along Firestone Blvd.	N/A	*
Maximum Lot Coverage (Section 3.6.4, Exhibit 3.7)	80%-100% Commercial and Mixed- Use/ 60% if Residential Only	Lot Coverage Varies - See Exhibit 3.7	100%	80% Commercial and Mixed- Use/ 60% if Residential Only	*
Maximum Ground-Floor Area (Section 3.6.5)	Maximum 20,000 SF per building; No Limitation in the Firestone Boulevard Gateway				*
Building Setback Standards	Varies by Street - See Exhibit 3.10 and Section 3.6.6.				*
Building Separation	Not required				*
Parkway Requirement	Varies by Street - See Section 3.6.7.A and Exhibit 3.11.				*
Landscape Requirements	Varies based on setback and building-line requirements - See Section 3.6.8				*
Facade Modulation	Varies based on setback requirements of Exhibit 3.10. See Section 3.6.10.A, B, and C, for types of modulation that qualify				*
Façade Depth	Minimum 4-inch depth from the building plane and face at street or sidewalk-facing facades. See Section 3.6.11.E.				*
Ground-related Entry Frequency	Varies based on building-line requirements of Exhibit 3.10. See Section 3.6.10.F.				*
Ground-related Entry In Relationship to Grade	Varies based on setback requirements. See Section 3.6.10.F and Exhibit 3.17.				*
Ground-floor Minimum Clear Height	Varies by first-floor use - See Section 3.6.10G				*
Storefront Requirements	Varies- See Section 3.6.11 and Exhibits 3.19 and 3.20.				*

Section 3
Design Standards and Guidelines

Design Standards and Guidelines	Downtown Core	Downtown Residential	Firestone Boulevard Gateway	Paramount Boulevard Professional	Civic Center
Typical Depth	40-foot minimum				*
Min. Typical Façade Height	20 feet minimum				*
Min. Typical Header Height	10 feet minimum from finish grade at sidewalk				*
Primary Entrance	Open during normal business hours				*
Typical Façade Width	Maximum 75 linear feet of sidewalk frontage				*
Typical Bay Width	Where 18-inch building line is required per Exhibit 3.10, maximum 25 linear feet of bay width				*
Typical Bay Proportions	Maximum ratio of 1.5 feet of width for each 1 foot of height				*
Typical Glazing Area	Minimum 60% of bay				*
Typical Sill Height	Maximum 3 feet above the adjacent sidewalk				*
Outdoor Dining Fence Exemption	With approval of City Planner				*
Awnings and Canopies	Integral with design of storefront bay. See Section 3.6.11.A				*
Glazing	Use of reflected glass is prohibited. Use of tinted glass at ground level is prohibited. See section 3.6.11.B.				*
Security Elements	Located at the interior of ground floor space and not visible from adjacent public right-of-ways and sidewalks when grill is not in an open position. See Section 3.6.11.D. A minimum of 70% transparency is required.				*
Landscaping for Parking Areas	For surface parking lots a minimum of 5 feet landscaped area is required where adjacent to a public sidewalk or street.				
Above-grade Parking Setback	40-foot setback minimum at Downey Ave and Third Ave. See Section 3.6.12.				*
Architecturally Significant Buildings and Storefronts	Maintain, restore, and rehabilitate. See Sections 3.6.13.A,B,C.				*
Site Furniture and Lighting	Varies – See Section 3.8				
Public Art	In-lieu fees required for certain projects. See Section 3.9				*

* As Approved by City Council.

3.6 Urban Design Standards and Guidelines

The urban design guidelines and development standards are typically identified in this Plan by use of the verbs “shall”, or “shall be”, and are design requirements that must be addressed in a project. Guidelines are typically identified in this plan by use of the verbs “should”, or “should be”, and project proponents are strongly encouraged to affirmatively incorporate these ideas in their project designs.

3.6.1 Allowed Floor Area Ratio

In Downtown Downey, floor area ratios for each land use district have been established as shown in Exhibit 3.1. The established floor area ratios are intended to ensure that proposed construction relates to the existing intensity of uses while at the same time allowing for new development that increases activity in each district. The square footage of all buildings and additions on a parcel shall not exceed the allowed floor area ratio (FAR) for the parcel as denoted on Exhibit 3.1. If a parcel straddles two or more floor area ratio designations, development on any segment of the parcel shall not exceed the allowed floor area ratio for that portion of the property.

Image: Floor area ratios along Downey Avenue will remain low to maintain the “Main Street” feel.



Exhibit 3.1: Allowable Floor Area Ratios in Downtown

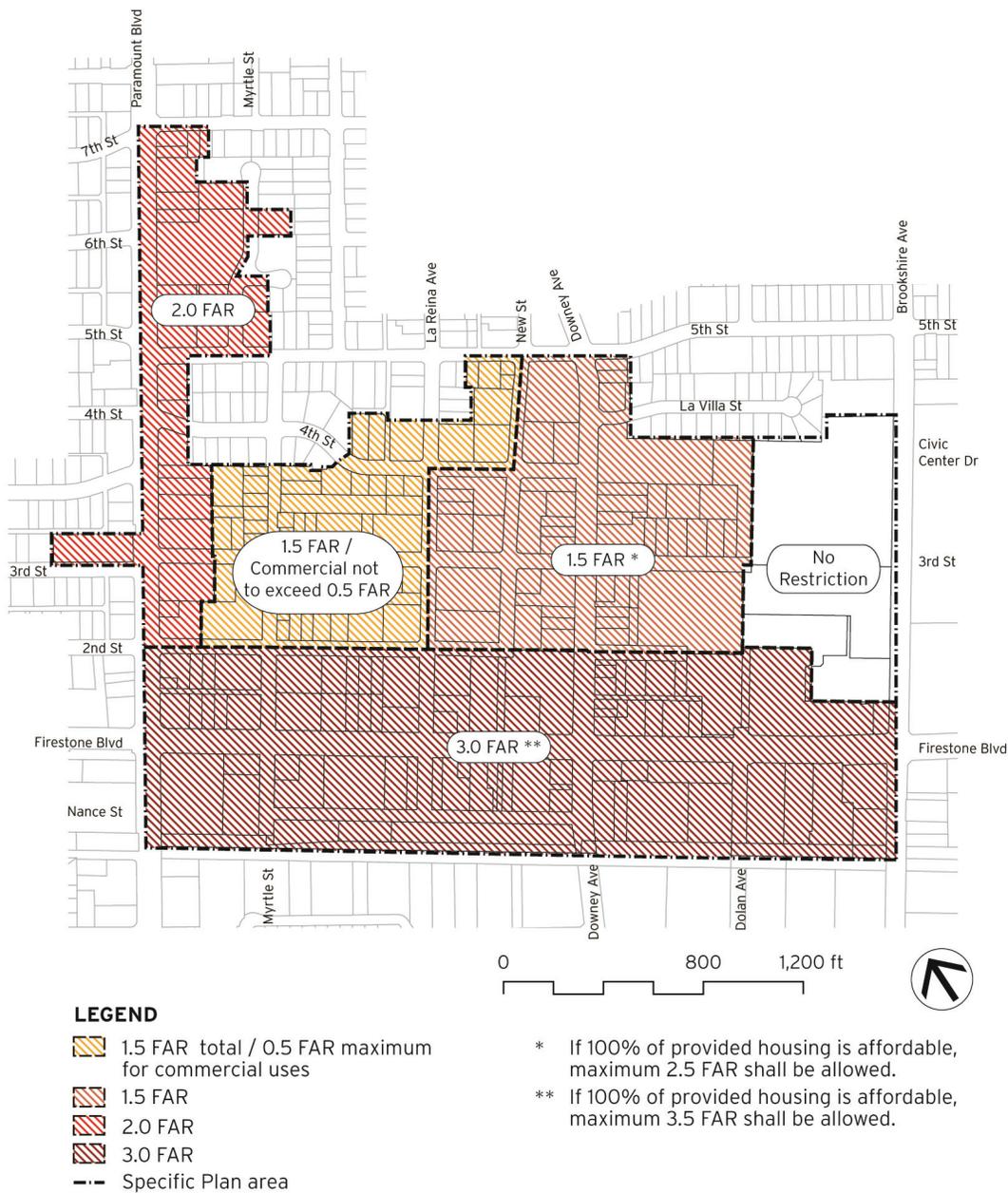


Exhibit 3.1

Allowable Floor Area Ratios in Downtown

Section 3 Design Standards and Guidelines

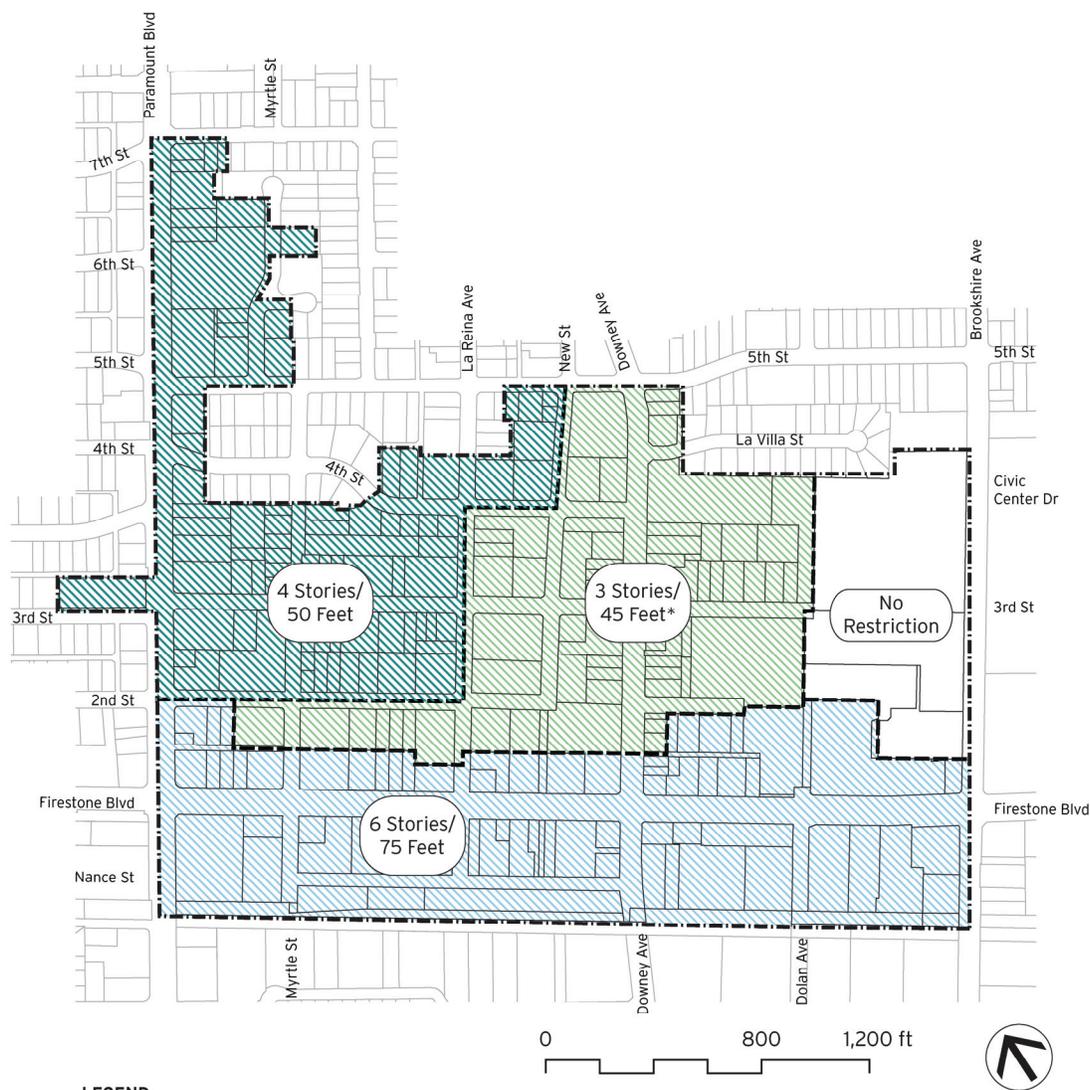
3.6.2 Allowed Height and Number of Stories

Permitted number of stories for buildings and maximum building heights are denoted in Exhibit 3.2. These limits provide for an evolved town-scale of low- to medium-height infill structures. Simultaneously, the height limits allow Firestone Boulevard to be treated as a unique district, distinct from its surrounds with allowances for taller structures.

Image: Building step-backs are used to maintain a one-story scale along the sidewalk.



Exhibit 3.2: Maximum Allowable Heights in Downtown



LEGEND

-  Maximum height 3 stories / 45 feet
-  Maximum height 4 stories / 50 feet
-  Maximum height 6 stories / 75 feet
-  Specific Plan area

* If 100% of provided housing is affordable, a height limit of 4 stories / 50 feet shall apply.

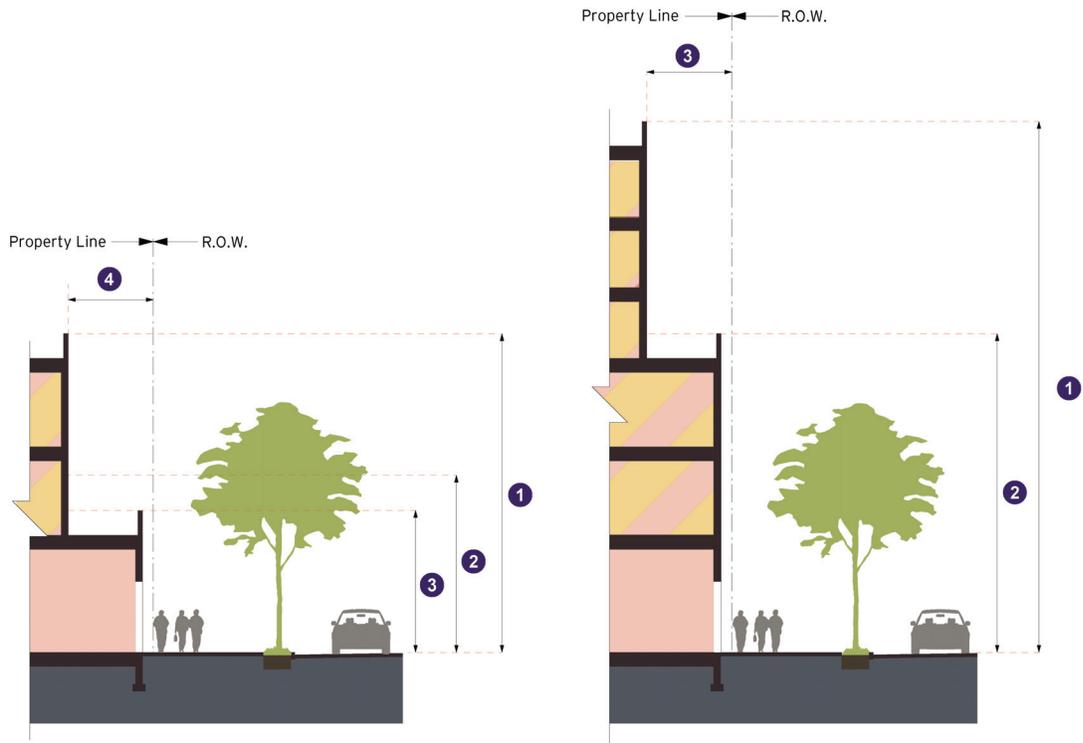
Exhibit 3.2
Maximum Allowable Heights in Downtown
Section 3 Design Standards and Guidelines

3.6.3 Required Step-backs

The character of buildings in Downtown Downey forms a comfortable one- and two-story townscape. By incorporating step-backs above designated heights along key streets such as Downey Avenue and Firestone Boulevard, the legacy character of these streets and the area can be maintained. Façade step-backs shall be measured perpendicularly from the property line along right-of-ways and shall be required as shown on Exhibit 3.5.

Exhibit 3.3
(left): Downey Avenue step-back requirement

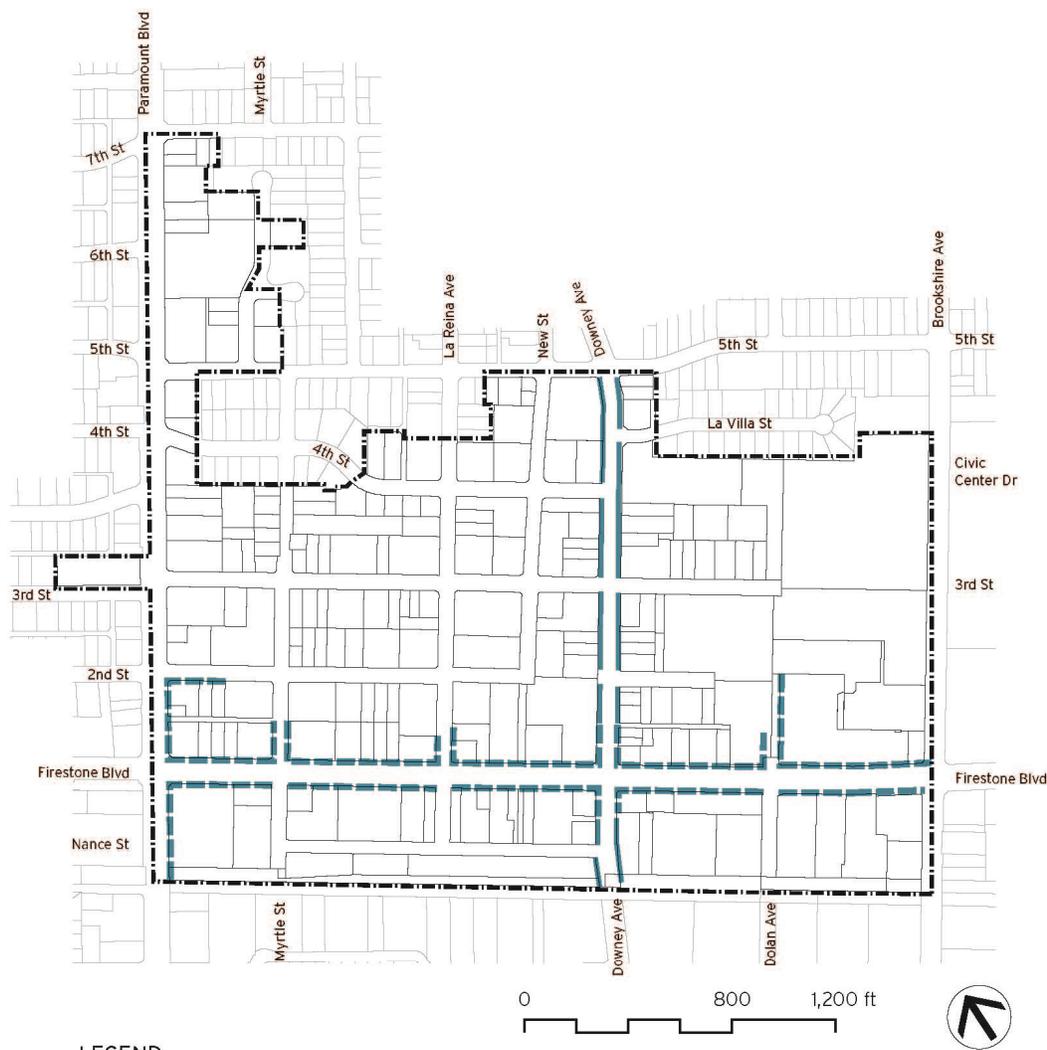
Exhibit 3.4
(right): Firestone Avenue step-back requirement



- ① Maximum building height of 45 feet at Downey Avenue (See Exhibit 3.2)
- ② Height at which step-back is required (See Exhibit 3.5)
- ③ Minimum facade height at storefront (See Exhibit 3.21)
- ④ Minimum 12-foot step-back (See Exhibit 3.5)

- ① Maximum building height of 75 feet at Firestone Boulevard (See Exhibit 3.2)
- ② Height at which step-back is required (See Exhibit 3.5)
- ③ Minimum 12-foot step-back (See Exhibit 3.5)

Exhibit 3.5: Required Step-backs Along Major Downtown Roadways



LEGEND

- Minimum 12-foot stepback from property line above 25 feet in height
- - - Minimum 12-foot stepback from property line above 45 feet in height
- - - Specific Plan area

Note: Where a building abuts or adjoins a residentially zoned property along its side and/or rear property lines, the building shall step back a minimum of 15 feet from the adjacent side and/or rear property line at a height above 25 feet.

Exhibit 3.5
Required Step-backs Along Major Roadways
Section 3 Design Standards and Guidelines

3.6.4 Allowed Lot Coverage

In Downey, existing one- and two-story commercial structures cover up to one hundred percent of the buildable area of their lot. Residential buildings typically incorporate landscape setbacks and yard areas and the resulting lot coverage is less than that of commercial uses. The following standards and guidelines maintain this built-form pattern. For residential-only projects, the lot coverage requirements assure the provision of open space appropriate for a downtown environment. Exhibit 3.6 illustrates how lot coverage shall be calculated.

DEFINITION: Lot Coverage. The percentage of the lot covered by structures and buildings including accessory buildings exclusive of non-vehicular related inhabited covered areas that are open to the air such as, but not limited to, arcades, colonnades, loggias, accessible recesses, covered entries, and porches.

3.6.4.A Lot Coverage Allowance

The footprint of buildings and additions on a parcel shall not exceed the Downtown lot coverage allowances shown in Exhibit 3.7.

Exhibit 3.6: Lot Coverage Calculation

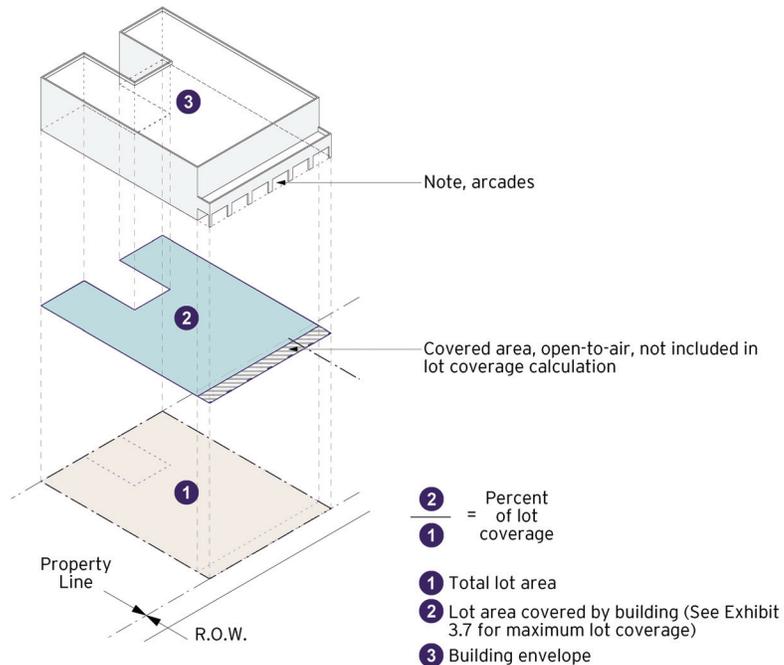


Exhibit 3.7: Maximum Downtown Lot Coverage

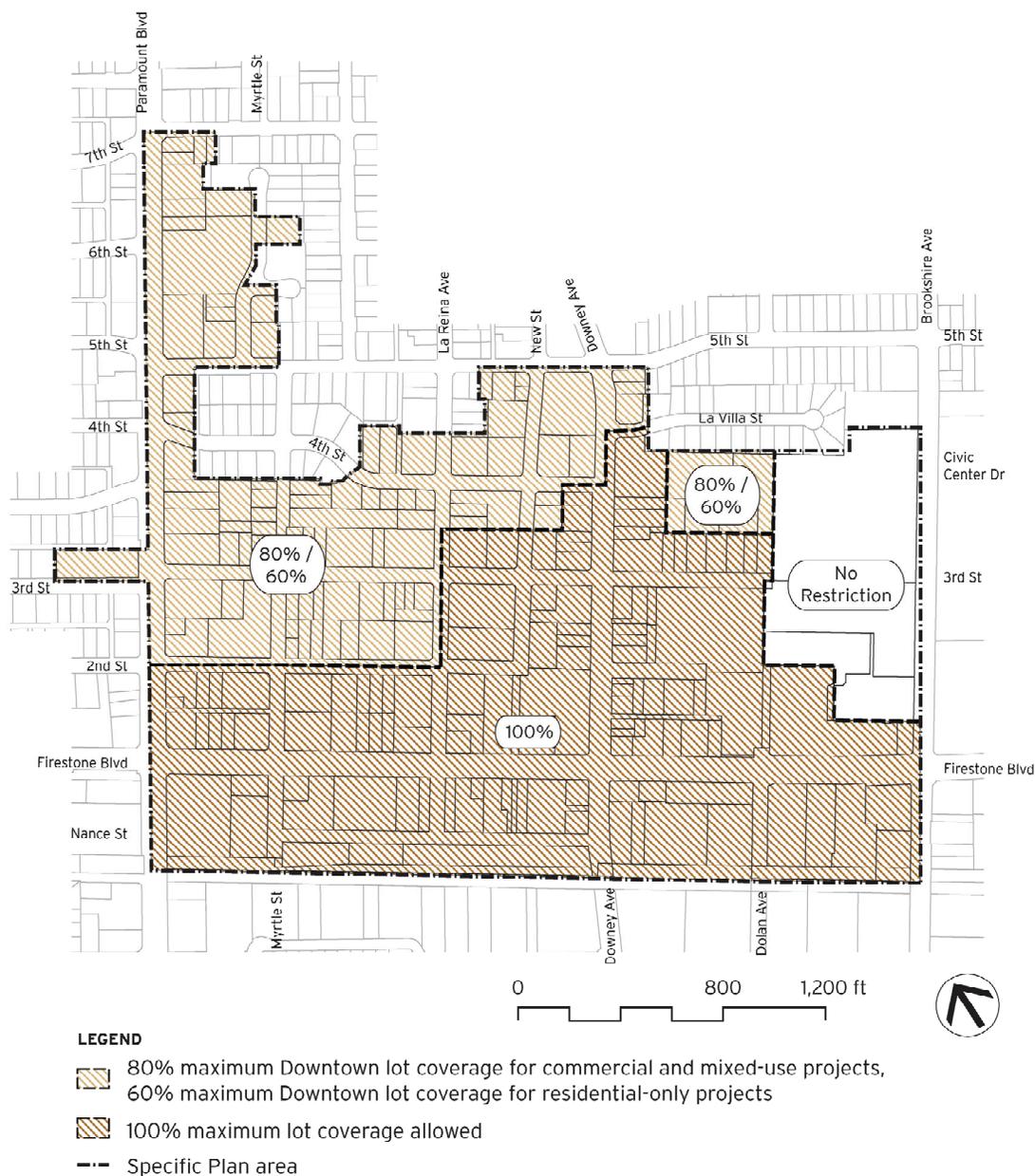


Exhibit 3.7

Maximum Downtown Lot Coverage

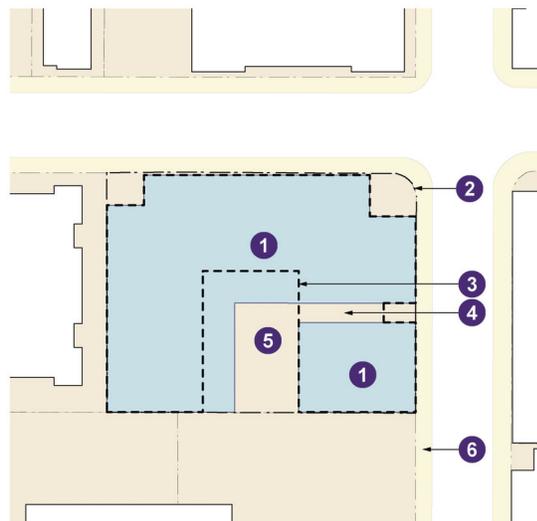
Section 3 Design Standards and Guidelines

3.6.5 Maximum Building Mass

The overall mass of a structure is largely determined by the gross area of the floors. Buildings in Downtown Downey rarely exceed two or three lots lending intimacy to the overall scene. The following standards for building massing provide for floor areas that both relate to the existing scale of structures while providing adequate area for contemporary uses.

With the exception of projects within the Firestone Boulevard Gateway district, the maximum area of the ground floor of an individual building on a lot or parcel shall not exceed 20,000 square feet in size. More than one building on the same lot or parcel is permitted with use of open-to-the-air passages, courtyards, open-to-the-sky open spaces, and party walls with no connections or openings between adjoining buildings (See Exhibit 3.8).

Exhibit 3.8:
Ground-floor
Maximum
Area



- ① Ground-floor maximum area of a building \leq 20,000 SF
- ② Lot area boundary
- ③ Line of building above grade level
- ④ Open-to-air passage
- ⑤ Open-to-sky courtyard
- ⑥ Sidewalk

3.6.6 Setback Standards and Guidelines

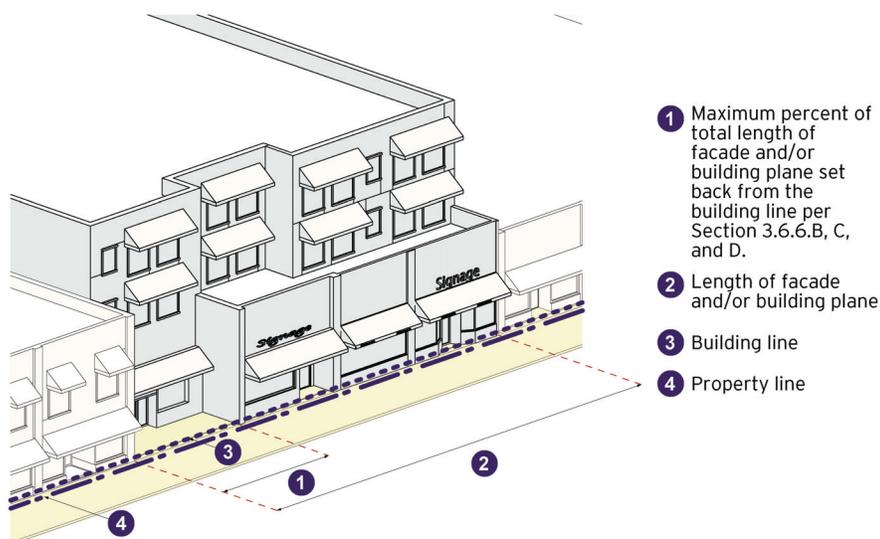
Downtown Downey is characterized by commercial structures that squarely face the sidewalk, with street walls built to the sidewalk property line. This approach creates a consistent interaction between storefronts, shop windows, ground floors, and passing pedestrians. Setback standards assist in the maintenance of continuous building façades along streets. To sustain this street wall pattern, the following standards are required.

3.6.6.A Setback Standards

Front and Street Side setbacks of new buildings and additions to existing buildings shall be placed in relationship to property lines and setback requirements as shown and described in Exhibit 3.10.

3.6.6.B Maximum 18-inch Setback Requirements

Where a maximum eighteen (18") inch setback is required the façade of the building, and/or an addition to an existing structure, shall be placed no more than eighteen (18") inches from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 30% of the length of a façade and/or front building plane may be interrupted or set back from the maximum setback requirement to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).



- 1 Maximum percent of total length of facade and/or building plane set back from the building line per Section 3.6.6.B, C, and D.
- 2 Length of facade and/or building plane
- 3 Building line
- 4 Property line

Exhibit 3.9:
Front Setback Requirements

3.6.6.C Maximum 5-foot Setback Requirement

Where a maximum five (5') foot setback lines is required for commercial and mixed-use buildings, the façade of the building, and/or an addition to an existing structure, shall be placed no more than five (5') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 50% of the length of a required façade and/or front building plane may be interrupted or set back from the maximum setback line to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).

3.6.6.D Minimum 8-foot Setback Requirement

Where a minimum eight (8') foot setback is required for residential buildings, the façade of the building, and/or an addition to an existing structure, shall be placed at least eight (8') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area. Up to 50% of the length of a required façade and/or front building plane may be interrupted or set back from the maximum setback line to accommodate recessed entries, breaks in building plane, passages to courtyards, and other similar breaks in the street wall (See Exhibit 3.9).

3.6.6.E Minimum 15-foot Setback Requirement

Where a minimum setback line of fifteen (15') feet is required, the façade of the building, and/or an addition to an existing structure, shall be placed at least fifteen (15') feet from the adjoining property line. Exhibit 3.10 shows the required setbacks within the Specific Plan area.

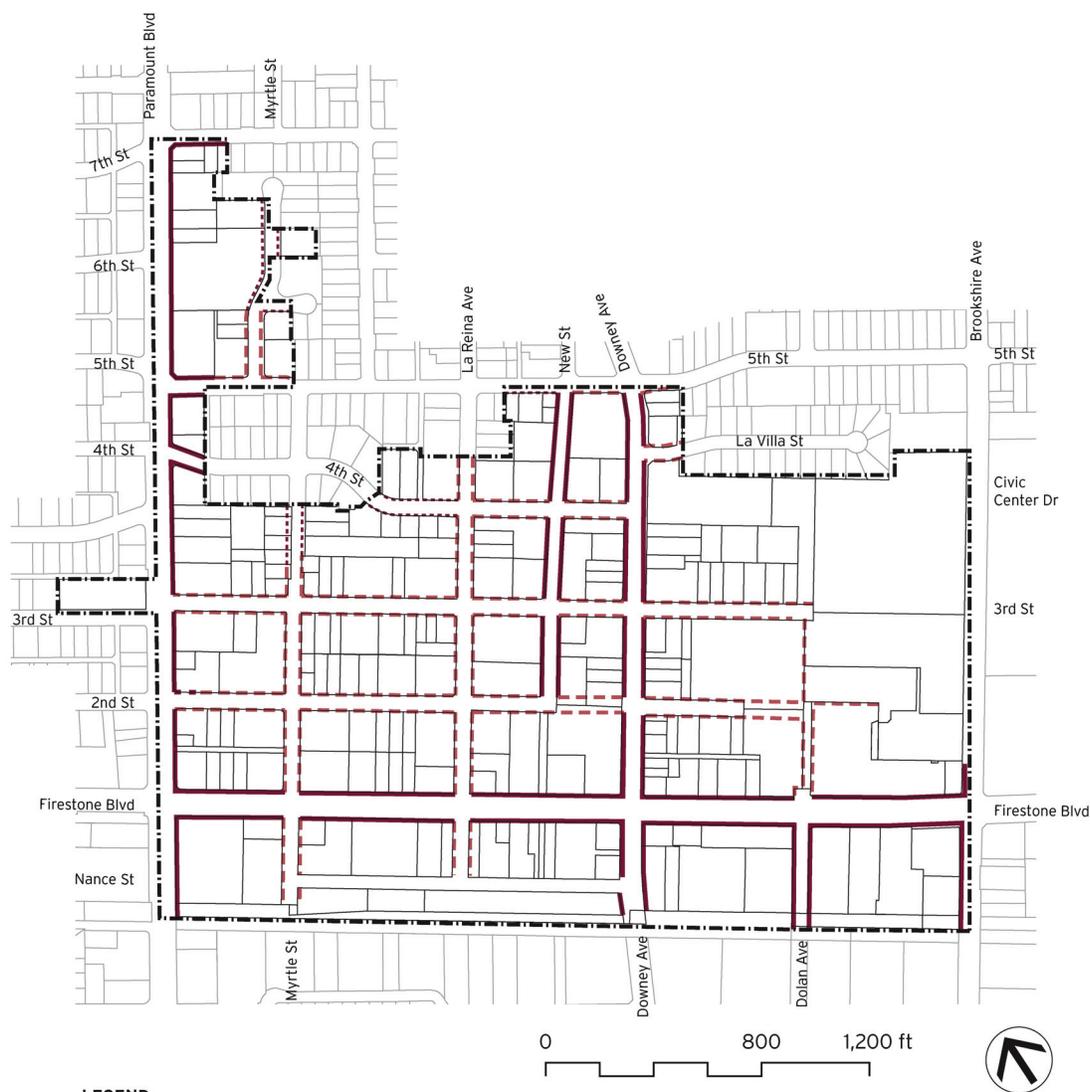
3.6.6.F Property Line Set at Center of Street

Where a property line is set at the center of a public right-of way, and a setback is required as shown on Exhibit 3.10, the required setback shall be measured from the back of sidewalk.

3.6.6.G Side Yard, Rear Yard Setbacks and Step-back Adjacent to Residential Zoned Property

Where a building abuts or adjoins residentially zoned property along its side and/or rear property lines, the first twenty-five (25') feet in height of a structure shall be set back a minimum of eight (8') feet from the side and/or rear property line. The building shall step back a minimum of fifteen (15') feet from the adjacent side and/or rear property line at a height above twenty-five (25') feet.

Exhibit 3.10: Required Setbacks



LEGEND

- Minimum 0" and maximum 18" setback from property line
- - - Minimum 0' and maximum 5' setback from property line for commercial and mixed-use projects; or minimum 8' setback for residential-only projects
- Minimum 15' setback from property line
- · - · Specific Plan area

Exhibit 3.10
Required Setbacks
Section 3 Design Standards and Guidelines

3.6.7 Open Space and Landscape Improvements

The primary open space in Downtown Downey is the existing network of streets and sidewalks. Improvement of those streetscapes is the most immediate means to realize a green and vital Downtown. In aggregate, well-maintained landscape buffers, open spaces, pocket parks, and plazas should all combine in Downtown to provide a diverse, multi-functional open space network that contributes to the character of Downtown.



The following open space and landscape standards generate a greener downtown public and private-realm environment.

3.6.7.A Landscaped Parkway Requirement

New building projects, and reuse and rehabilitation projects greater than 10,000 square feet in size, shall provide landscaped and irrigated parkways a minimum of thirty (30") inches wide for a minimum of 40% of the building frontage along the curbsides of streets as delineated in Exhibit 3.11. In lieu of landscaped parkways, the City should implement in-lieu parkway fees that contribute to the funding of Downtown parkway improvements.

3.6.7.B Exemption from Open Space Requirements

To create incentives for the realization of a vital mixed-use downtown district within the Downtown Specific Plan area, on-site common and private open space is not required except as defined by the lot coverage requirements in Exhibit 3.7. In lieu of on-site private open space, the City should implement in-lieu open space fees that contribute to the funding of Downtown streetscape and Downtown public open space improvements.

Exhibit 3.11: Required Parkways

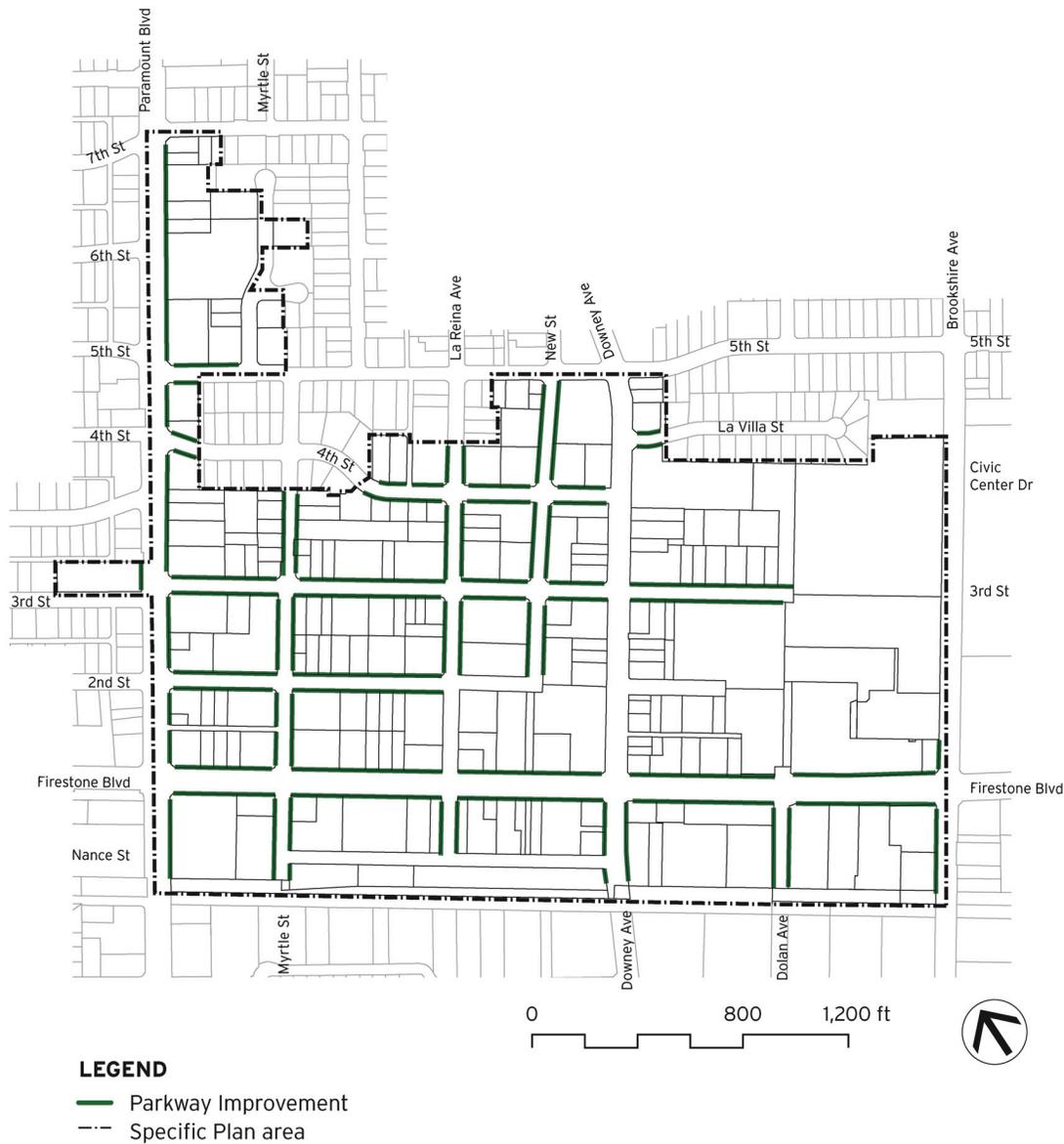


Exhibit 3.11

Required Parkways

Section 3 Design Standards & Guidelines

3.6.8 Landscape Buffer Requirements

3.6.8.A Planting Area between Back of Sidewalk and Maximum 18-Inch Setback Line

Where a maximum eighteen (18") inch setback line is required, per Exhibit 3.10, the area between the building line and the back of sidewalk should be improved with a combination of softscape and hardscape including but not limited to planting beds and boxes, pavers, low shrubs, planter pots, and other landscape amenities (Exhibit 3.12).

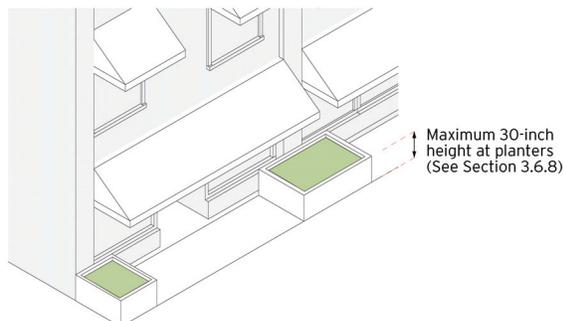
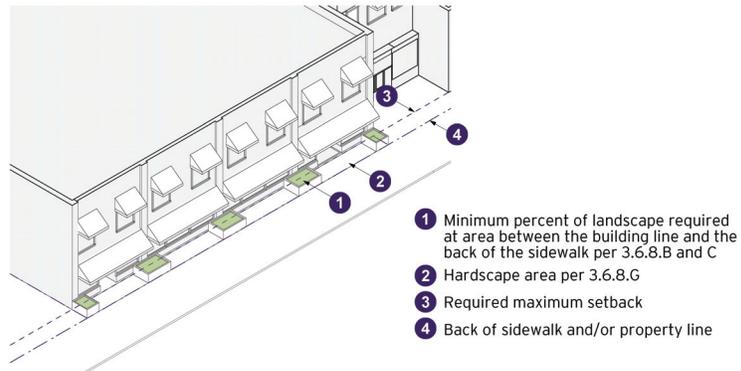
3.6.8.B Planting Area between Back of Sidewalk and Maximum 5-foot and Minimum 8-foot Setback Lines

Where a maximum five (5') foot setback line is required at commercial or mixed-use building and where a minimum eight (8) foot setback line is required at residential-only buildings per Exhibit 3.10, a minimum of 25% of the area between the building line and the back of sidewalk shall have an irrigated planting area as shown in Exhibit 3.12. Planting areas may include raised planter boxes a maximum of thirty (30") inches in height above adjacent sidewalks.

3.6.8.C Planting Area between Back of Sidewalk and Minimum 15-foot Setback Lines

Where a minimum fifteen (15') foot setback line is required, per Exhibit 3.10, a minimum of 60% of the area between the building line and the back of sidewalk shall have an irrigated planting area (See Exhibit 3.12). Planting areas may include raised planter boxes a maximum of thirty (30") inches in height above adjacent sidewalks.

Exhibit 3.12:
Planting Areas
between
Building Lines
and Property
Lines



3.6.8.D Planting Areas within Side Yard Setbacks

Where side yard setbacks between property lines and buildings are required per Section 3.6.6.G, a minimum three (3') foot wide planting area shall be provided along at least 60% of the length of the side yard. Planting areas may include raised planter boxes a maximum thirty (30") inches in height above the adjacent grade, as shown in Exhibit 3.12.

3.6.8.E Planting Area within Rear Yard Setbacks

Where rear yard setbacks between property lines and buildings are required per Section 3.6.6.G and where the rear yard does not adjoin a right-of-way such as an alley, a minimum three (3') foot wide planting area shall be provided along at least 60% of the length of the rear yard. Planting areas may include raised planter boxes a maximum thirty (30") inches in height above the adjacent grade.

3.6.8.F Required On-site Trees

A minimum of one twenty-four (24") inch box tree with a minimum mature canopy of fifteen (15') feet shall be planted on site for each five hundred (500) square feet of provided ground-level open-to-the-sky open space. Each tree shall have a minimum two (2") inch trunk diameter at time of planting.



3.6.8.G Use of Hardscape

At on-site open space, and areas between the front of buildings and the back of sidewalks, use of pavers, stone, colored concrete, scored concrete, brick and other high-quality materials that are compatible with the building architecture are required. Untreated concrete is not permitted in these areas.



3.6.8.H Visibility To and From On-site Open Space

When on-site open space is provided that is internal to the block or behind the main building mass and volume, visibility to and from this open space to adjacent public sidewalks is encouraged and should take the form of covered passages and/or open-to-the-sky breaks in building massing. Visibility openings to internal courtyards and other such on-site open space should be a minimum of ten (10') feet wide, twelve (12') feet in height, and no more than forty (40') feet in depth.



3.6.9 Architectural Standards and Guidelines

The following architectural standards and guidelines shape the character of new construction and additions, as well as alterations to existing structures. The intent is to emphasize the orientation of architecture to sidewalks and right-of-ways in Downtown, increase the visual interest of buildings, relate new and old construction, and emphasize the incorporation and design of elements that create a sense of human-scale.

3.6.10 Architectural Modulation Standards and Guidelines

Downtown Downey has been developed incrementally; the result is a collection of individual building masses that together create a modulated human-scale townscape. The following architectural modulation standards and guidelines provide that the existing scale of small- and medium-scale structures is reflected in new infill construction and additions.

DEFINITION: Architectural Modulation

Adjustment and/or variation of proportion, scale, detail, and/or change in expression of architectural components, elements, and design to realize architectural variety and enhanced complexity of design expression

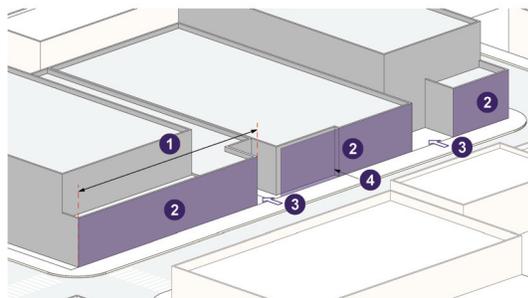
DEFINITION:
Façade. A face and/or plane of a building typically incorporating windows, entries, and architectural treatments

Exhibit 3.13:
Building Modulation

3.6.10.A Façade Modulation at Maximum 18-Inch Setback Lines

Along building frontages and sidewalks where a maximum eighteen (18") inch setback lines are required (See Exhibit 3.10), the architectural expression of facades shall express modulation and/or variation in the design of architectural massing and/or mass at least once every one hundred and twenty-five (125') feet. This modulation may be attained through the use of breaks in building plane, major changes in massing, utilization of projecting bays or recesses, changes in material, differentiation of color, setbacks leading to ground level open space, and/or use of architectural detail, elements, and/or ornament (See Exhibit 3.13).

3.6.10.B Façade Modulation at Maximum 5-Foot or Minimum 8-Foot Setback Lines



- 1 Maximum distance without modulation (See sections 3.6.10.A and 3.6.10.B)
- 2 Building plane
- 3 Break in massing
- 4 Break in building plane

Along building frontages and sidewalks where a maximum five (5') foot setback lines are required for commercial and mixed-use buildings and a minimum eight (8') foot setback line is required for residential-only buildings as noted on Exhibit 3.10, the architectural expression of facades facing these frontages shall express modulation and/or variation in the design of architectural massing at least

once every sixty (60') feet. This modulation may be attained through the use of breaks in building plane, major changes in massing, utilization of projecting bays or recesses, changes in material, differentiation of color, use of openings leading to ground level open space, and/or use of architectural detail, elements, and/or ornament (Exhibit 3.13).

3.6.10.C Façade Modulation

Façade modulation should be realized through use of minimum eighteen (18") inch changes in building plane, incorporation of minimum six (6') foot deep step backs, material changes, use of detail such as horizontal banding, use of bulkheads at storefronts, window surrounds, vertical and horizontal articulation shading devices such as eyebrows and awnings, ornament, and/or other similar architectural expressions (Exhibit 3.14).

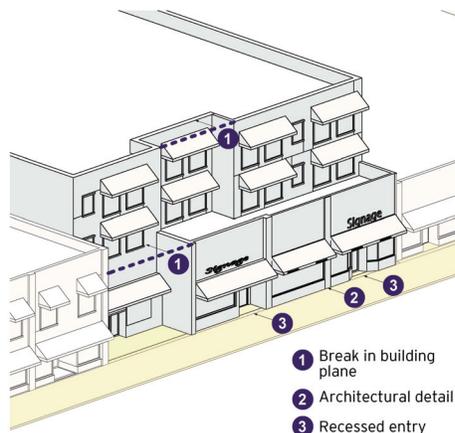


Exhibit 3.14:
Façade
Modulation

3.6.10.D Building Design Relationships between Existing and New Structures

New infill buildings and additions should utilize modulation at sidewalks and street frontages to reference adjacent building features to create relationships between adjoining structures (Exhibit 3.14).

3.6.10.E Façade Depth

Each building elevation that faces a sidewalk or street should have a quality of façade depth that is created by setting windows and storefronts back a minimum of four (4") inches from the building plane and face (Exhibit 3.15).

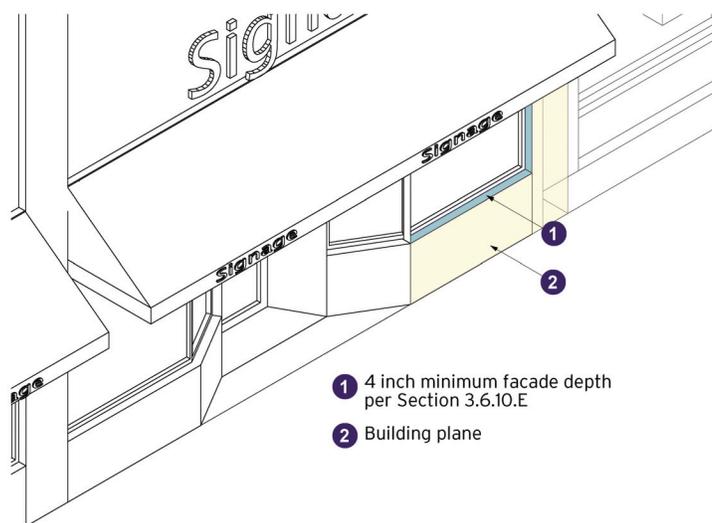


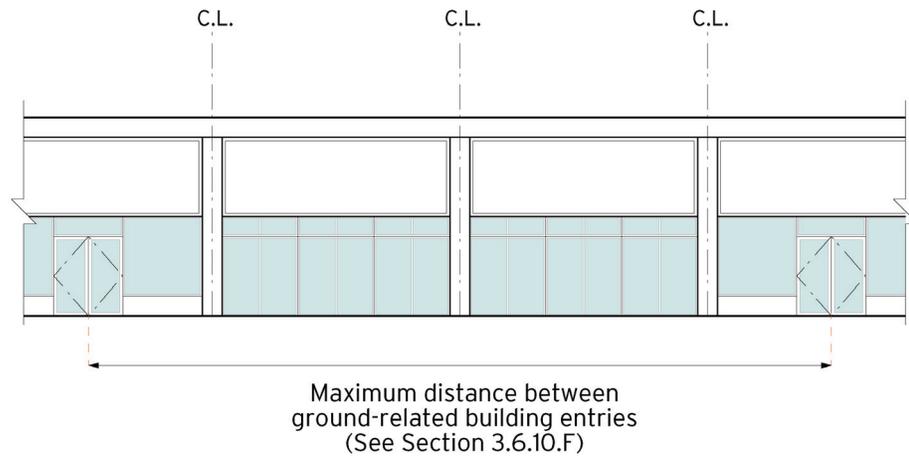
Exhibit 3.15:
Façade Depth

3.6.10.F Building to Sidewalk Relationships

To enhance interaction and connectivity along sidewalks and streets in Downtown, ground-related entries are required and encouraged as follows.

- ▶ **Entry Frequency at Maximum Eighteen (18") Setback Lines** - Along street frontages where a maximum eighteen (18") inch setback lines are required by Exhibit 3.10, a ground-related building entry leading to a building lobby, storefront entry, and/or entry to a ground-level open space such as a courtyard or terrace shall occur at least once every seventy-five (75') feet as shown in Exhibit 3.16. These ground-related entries shall also be a maximum of twelve (12") inches above or below the adjacent grade level as shown in Exhibit 3.17.

Exhibit 3.16: Entry Frequency



- ▶ **Entry Frequency at Maximum 5-foot or Minimum 8-foot Setback** - Along street frontages where a maximum five (5') foot setbacks are required at commercial and mixed-Use buildings and a minimum eight (8') foot setback is required at residential-only buildings, per Exhibit 3.10, a ground-related building entry leading to a building lobby, storefront entry, residence, live-work unit, and/or entry to a ground-level open space such as a courtyard or terrace shall occur at least once every fifty (50') feet. These ground-related entries shall also be a maximum of thirty (30") inches above or below the adjacent grade level as shown in Exhibit 3.17.

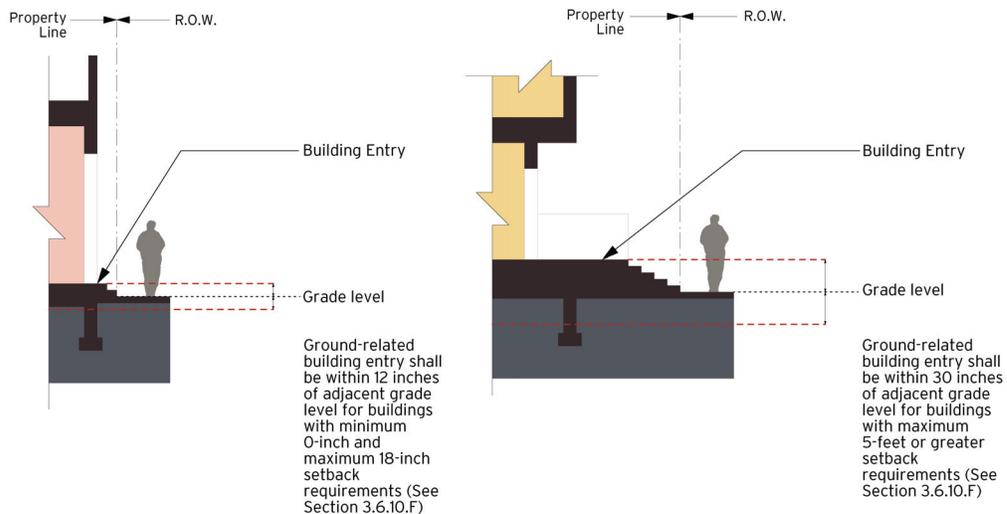


Exhibit 3.17:
Ground-related
Building Entry

- ▶ **Building Entry Detail at Commercial and Mixed-use Buildings** - To emphasize architectural elements of building entries in relationship to sidewalks, encourage a sense of detail at the ground level of buildings, and create connection and transition at the ground floor of residential units in relationship to sidewalks, building entries should incorporate recesses and/or projections from building faces, architectural surrounds such as moldings, use of quality materials such as brick, stone, and cast concrete, awnings and canopies over entries, and other architectural elements that create a sense of transition and passage from the public realm to the private realm.



Image (top): Details shown here include recessed entries, bay windows, mullions, and moldings.



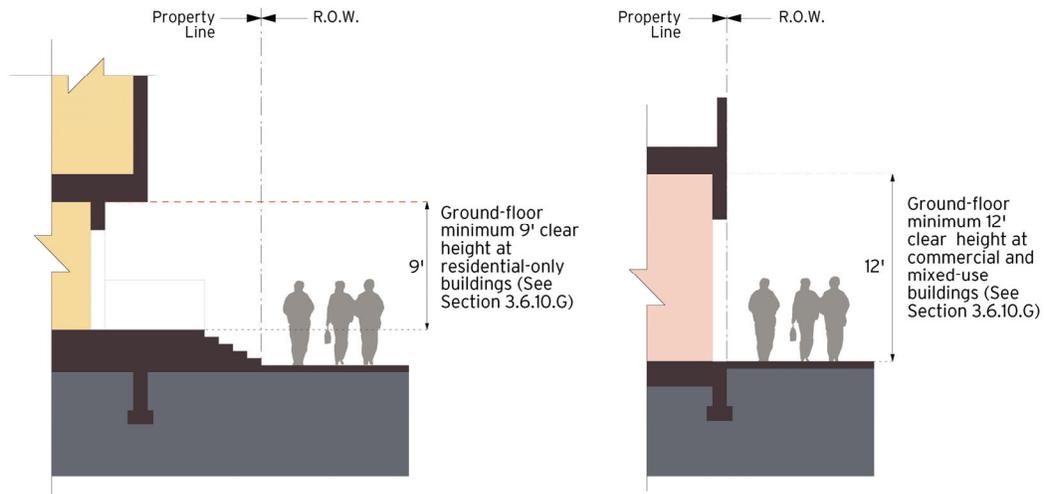
Image (bottom): Pedestrian entries are emphasized through stoops and overhangs at entries.

3.6.10.G Ground-floor Minimum Clear Height Requirement

To ensure that new construction facilitates quality commercial and residential uses at the ground level, minimum first floor clear height requirements are required as follows.

- ▶ **Ground-floor Minimum Clear Height at Commercial and Mixed-Use Buildings** - The clear height of first floor uses at commercial and mixed-use structures throughout the Downtown Specific Plan area shall not be less than twelve (12') feet clear from top of floor to bottom of ceiling (See Exhibit 3.18).
- ▶ **Ground-floor Minimum Clear Height at Residential Only Buildings** - The clear height of first floor uses within residential-only structures including live-work structures, within the Downtown Specific Plan area shall not be less than nine (9') feet clear from top of floor to bottom of ceiling except at kitchens, bathrooms, and non-inhabitable areas which shall not be less than eight (8') feet clear (See Exhibit 3.18).

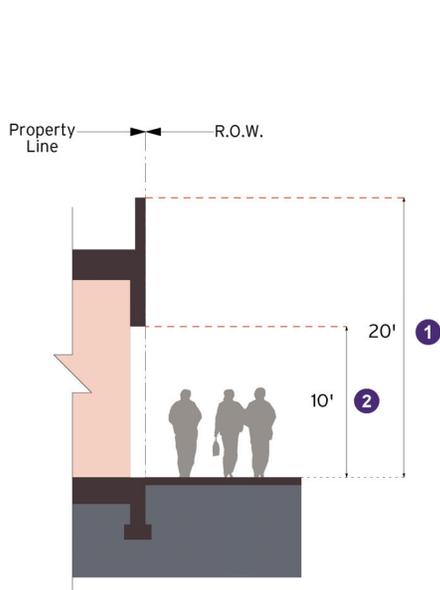
Exhibit 3.18:
Ground-floor
Minimum Clear
Height



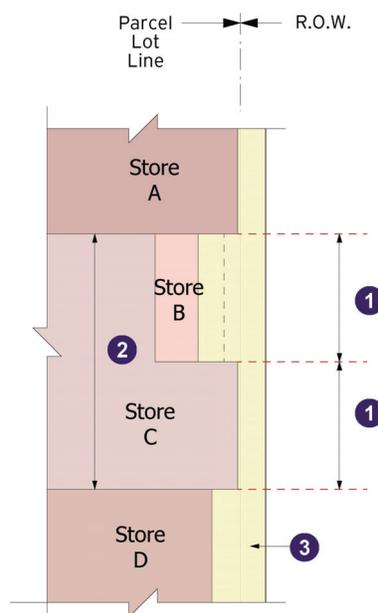
3.6.11 Storefront Design

Well-detailed, transparent, and active storefronts are a hallmark of downtown pedestrian experiences. To maintain and enhance this aspect of town life in Downtown Downey, storefronts are required as follows.

- ▶ **Storefront Façade Height** - Where storefronts are required per Exhibit 3.21, the street walls, facades, and front planes of buildings shall be a minimum of twenty (20') feet in height (See Exhibit 3.19).
- ▶ **Storefront Header Height** - Storefronts at exteriors shall be a minimum of ten (10') feet in height from finish grade at the sidewalk to the top of the storefront header, soffit, and/or fascia at the storefront opening (See Exhibit 3.19).
- ▶ **Storefront Depth** - Minimum forty (40') foot deep storefronts oriented to sidewalks and public rights-of-way shall be provided at building frontages as shown in Exhibit 3.21. Storefront depth shall be measured from the front building plane and may include open-to-the-air recessed areas behind the front building plane. In no case shall more than fifteen (15') feet of depth of open-to-the-air recessed area behind the front building plane count towards the required storefront depth (See Exhibits 3.20).



- 1 Minimum 20' façade height (See Section 3.6.11)
- 2 Minimum 10' header/soffit height (See Section 3.6.11)

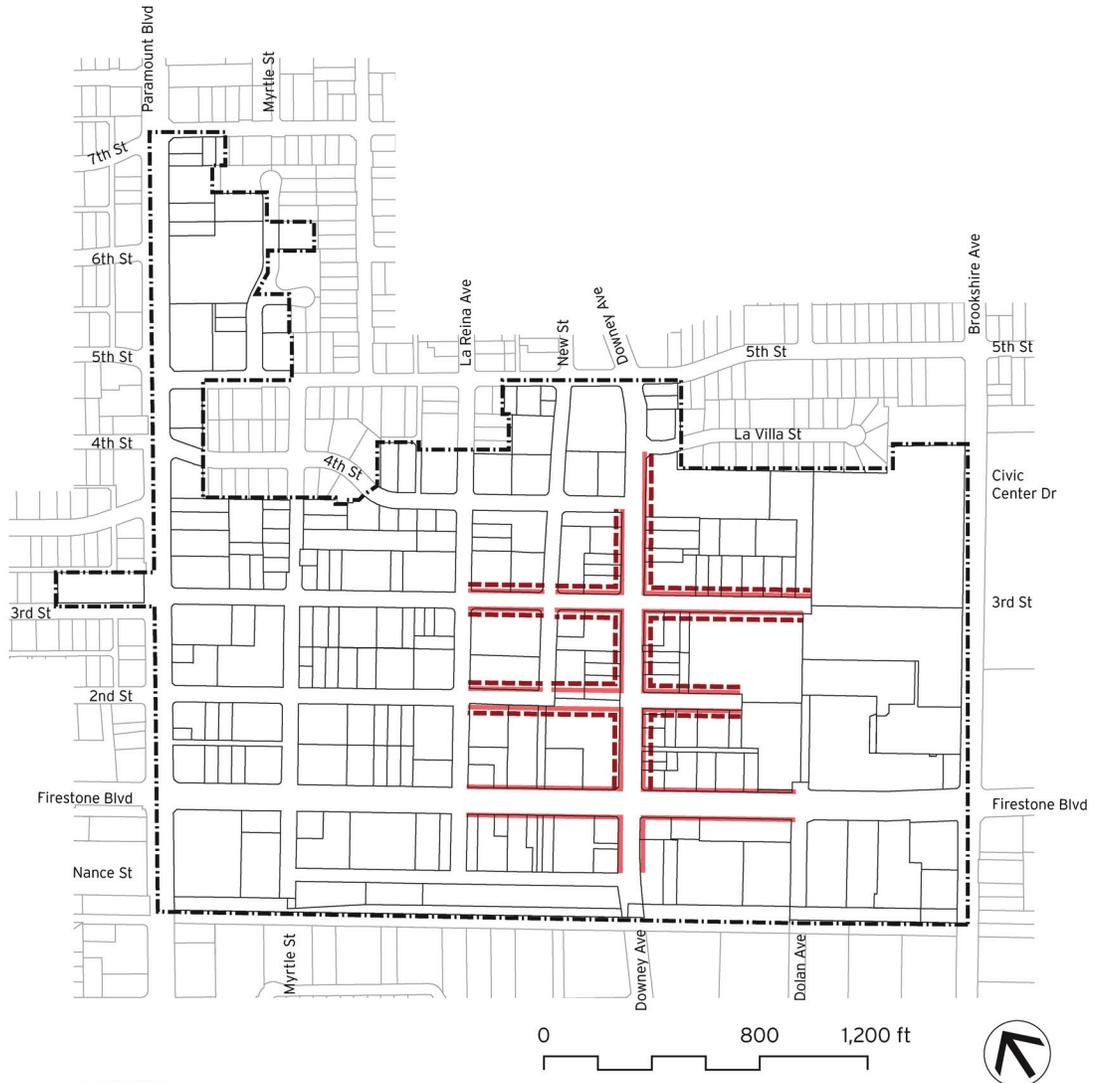


- 1 Ground-floor use does not exceed 75 linear feet of sidewalk frontage where minimum 40-foot deep storefront is required (See Section 3.6.12).
- 2 Ground-floor use may exceed 75 linear feet of width when placed behind a separate premise (See Section 3.6.12).
- 3 Sidewalk

Exhibit 3.19
(left):
Storefront
Façade and
Header Height

Exhibit 3.20
(right):
Storefront
Depth

Exhibit 3.21: Required Storefronts



LEGEND

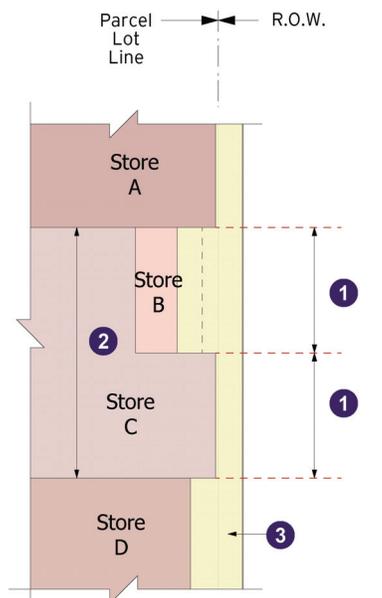
- Minimum 40-foot deep storefront with minimum 20-foot facade height required
- - - Maximum 75-foot linear storefront length
- - - Specific Plan area

Exhibit 3.21 Required Storefronts

Section 3 Design Standards & Guidelines

- ▶ **Storefront Primary Entrance** - A primary entrance shall be provided at each storefront and premises related to a storefront within the Downtown Specific Plan area. Such storefront and/or premises shall be open and accessible during normal business hours (see also Section 3.6.10.F for frequency of entrances).

- ▶ **Storefront Façade Width** - Where minimum forty (40') foot deep storefronts are required or provided per Exhibit 3.21, no single storefront, premise, or ground floor use shall exceed seventy-five (75') linear feet of sidewalk frontage. Premises greater than seventy-five (75') linear feet in length are allowed, but any additional length shall be placed behind a separate premise that independently meets the criteria of Exhibit 3.22.



- 1 Ground-floor use does not exceed 75 linear feet of sidewalk frontage where minimum 40-foot deep storefront is required (See Section 3.6.11).
- 2 Ground-floor use may exceed 75 linear feet of width when placed behind a separate premise (See Section 3.6.11).
- 3 Sidewalk

Exhibit 3.22:
Storefront
Façade Width

- ▶ **Storefront Bay Width** - Along sidewalks and streets with a maximum eighteen (18") Inch setback, as required by Exhibit 3.10, a storefront bay shall not exceed twenty-five (25') feet in width and shall be separated from adjacent storefronts or other building components by columns, pilasters, vertical separations, and/or other architectural elements as shown in Exhibit 3.23.

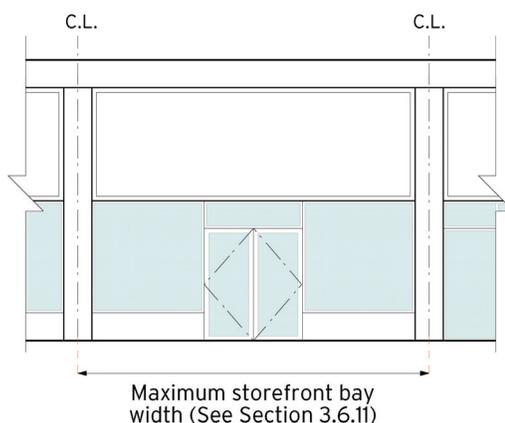


Exhibit 3.23
Storefront Bay
Width

Exhibit 3.24:
Storefront Bay
Proportions

- ▶ **Storefront Bay Proportions** - The overall proportion of a storefront bay should be approximately square and should have a maximum ratio of 1.5 feet of width for every one (1') foot of height (See Exhibit 3.24).

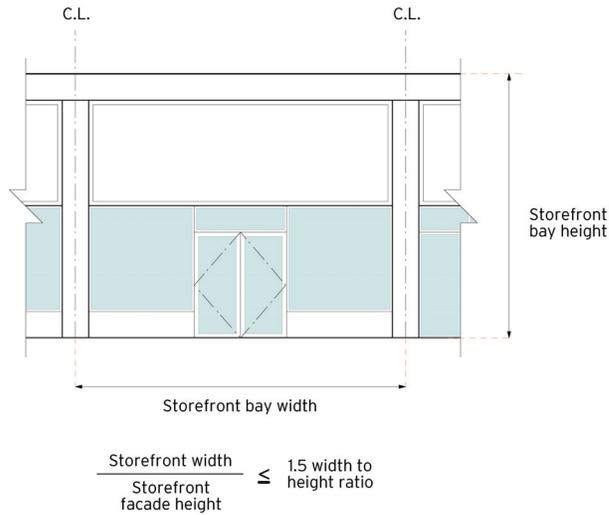
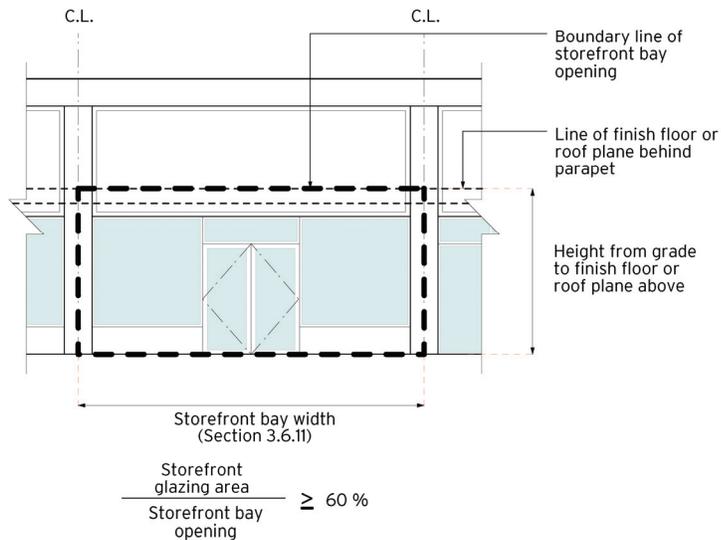


Exhibit 3.25:
Storefront Bay
Opening
Minimum
Glazing Area

- ▶ **Storefront Bay Opening Minimum Glazing Area** - A minimum of 70% of the storefront bay opening shall consist of doors and transparent windows. Back painting, obscured glass, and any treatment of storefront glass that obstructs views into and out of storefront spaces and associated premises are not allowed. In cases where privacy or control is required, curtains, shades, shutters, and similar devices shall be utilized in such a manner that if removed, the integrity of the storefront transparency is not damaged (See Exhibit 3.25).

DEFINITION:
Storefront Bay Opening. The area contained between the floor and the floor plane above or roof plane above and the storefront bay width.



- ▶ **Maximum Sill Height** - The sill of storefronts and/or similar sidewalk facing window elements at commercial uses shall be no more than three (3') feet above the adjacent sidewalk (See Exhibit 3.26).

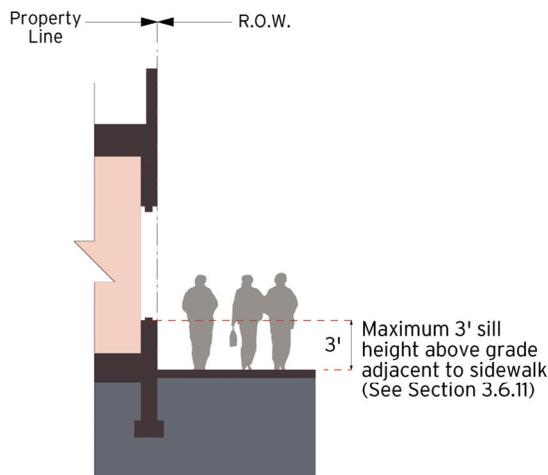


Exhibit 3.26:
Window Sill
Height

- ▶ **Visual Interest at Storefront** - Storefronts with recessed entries, recessed components, integral display windows, projecting bays, glazing that alternates between front and back of mullions, true dividing mullions, operable windows, fixed and operable transoms, integral signs and sign bands, and architectural elements and details that provide a sense of variety and interest within storefront bays and/or grouping of bays are encouraged.

- ▶ **Storefront Equivalent Opening Elements** - In lieu of storefronts, bay windows, display windows, show windows, shadow boxes, and/or similar individually expressed opening elements that provide visual interest at the grade plane and sidewalk may be permitted by the City Planner, provided that the alternative opening elements allow for the insertion of transparent storefront without demolition of any surrounding walls and/or structure should the approved use change.



Image: In-lieu of storefronts, show windows are used to create visual interest along sidewalks.

- ▶ **Fences at Outdoor Dining** - Fences and barriers associated with outdoor dining shall not be required as long as such dining does not impede pedestrian movement and access to adjacent premises and properties and shall meet minimum Americans with Disabilities Act requirements set forth in Title 24, Part 6 of the California Code Regulations. Notwithstanding this, should a fence be required by the State of

California Department of Alcohol Beverage Control around the outdoor dining area, the design of the fence shall be approved by the City Planner and shall be located in a manner to comply with Title 24, Part 6 of the California Code Regulations

3.6.11.A Awning and Canopy Standards and Guidelines

Awnings and pole mounted canopies attached to building facades, storefronts, and windows shall be integral to and fit within the shape, form, and dimension of the framing elements, openings, and building and/or storefront bays at the point of attachment to the building.

Image:
Awnings protect storefronts from direct sunlight, frame storefront windows, and reinforce pedestrian scale along Downey Avenue.



3.6.11.B Glazing Guidelines at Storefronts and Within Downtown Specific Plan Area

Use of tinted glass at the first level of buildings facing public sidewalks and streets is prohibited. Use of reflective glass is prohibited throughout the Downtown Specific Plan area.

3.6.11.C Material Guidelines

Use of high-quality and durable materials such as smooth finish stucco, full-size bricks, and stone are encouraged. Exterior finish materials such as applied false-brick veneer, industrial metal cladding and vinyl siding imitating wood siding are discouraged. Materials that are easy to maintain and clean are strongly encouraged. Additionally, change and variation in materials is encouraged to create visual interest through accentuation of areas of architectural prominence including but not limited to entries, building bases, windows, and sign bands. Use of materials and color should be consistent with the architectural style chosen. A good reference for architectural styles and use of materials is *A Field Guide to American Architecture* by Carole Rifkind (New American Library, New York, 1980).

3.6.11.D Security at Ground Floor Commercial Premises

Solid roll-down doors and grills mounted on the exterior of buildings create a forbidding sensibility within downtown areas that are typically better lighted and with greater police presence than other districts. To contribute to the creation of an inviting family-oriented environment in Downtown, interior security devices are allowed, but exterior security grills and similar security elements are not permitted within the Downtown Specific Plan area.

Upward rolling, side folding, or rolling security grills at the interior of ground floor spaces are allowed and should be designed to be integral to the architecture of the building and storefront. Such devices should utilize dedicated interior side pockets and/or ceiling cavities such that the grill and all mechanisms associated with the grill are not visible from adjacent public right-of-ways and sidewalks when the grill is in an open position. Such security grills when deployed shall have a minimum transparency of 70% (See Exhibit 3.27).

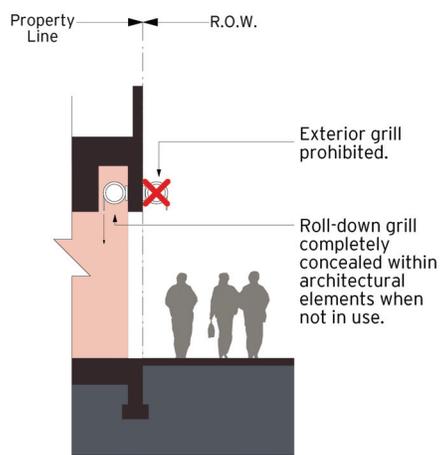


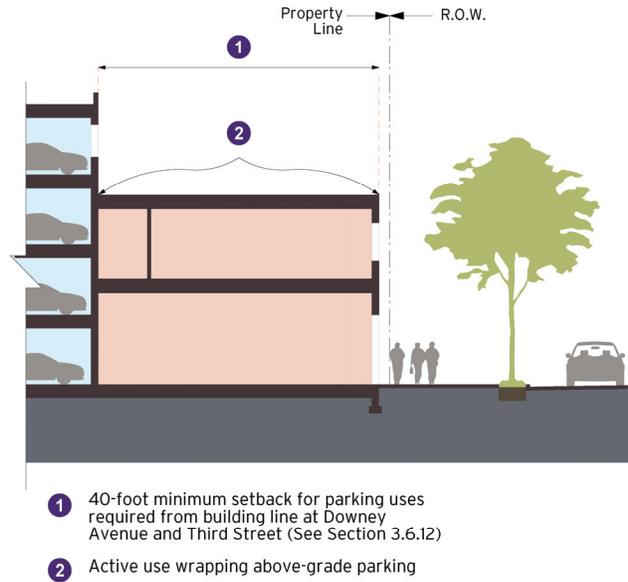
Exhibit 3.27:
*Indoor Security
Grille for
Ground-Level
Commercial
Spaces*

3.6.12 Parking Structure and Surface Lot Design Standards

Well-designed parking structures and lots that blend in and contribute to the Downtown Downey scene are critical to the long-term success of this district. To realize high-quality parking structures, the following design standards and guidelines are provided.

- ▶ **Above-grade Parking Setback** - Above-grade parking structures and parking uses on lots adjacent to Downey Avenue and Third Street shall be set back a minimum of forty (40') feet (as shown in Exhibit 3.28). To maintain pedestrian and visual interest along sidewalks, ground-floor and upper-floor uses incorporated within and/or placed in front of any grade-level parking throughout the Downtown Specific Plan area is encouraged.

Exhibit 3.28:
Setback for
Parking
Structures and
Surface
Parking Lots



- ▶ **Above-grade Parking Structure Architectural Expression** - Above-grade parking structures that are adjacent to streets or visible from streets shall be architecturally treated utilizing high-quality materials and architectural expression and shall meet the design standards and guidelines of this Plan.

Image: Parking structures should include pedestrian-friendly façade design and signage



- ▶ **Landscape Adjacent to Parking Structure** - Any open area between an above-grade parking structure and an adjoining public sidewalk and/or street, except approved driveways and walkways, shall be fully landscaped with both hardscape and softscape. These landscape areas should be developed as pocket parks that are available for public use during normal business hours.

- ▶ **Landscape Adjacent to Surface Parking Lot** - Any open area between a new surface parking lot and an adjoining public sidewalk and/or street shall be fully landscaped with a minimum of five (5') feet of softscape, except for approved driveways and/or walkways.

3.6.13 Conservation Standards and Guidelines

The overall intent of these design standards and guidelines is to both encourage new infill construction and retain and rehabilitate older structures towards the creation of an eclectic mix of new and old buildings in Downtown Downey that can accommodate the widest range of uses. To encourage this mix, the following standards and guidelines are provided:

3.6.13.A Architecturally or Historically Significant Buildings

If a building within the Downtown Specific Plan area is determined by the City of Downey to be architecturally and/or historically significant, appropriate reuse, rehabilitation, and/or preservation of the structure may be required.



Image: The Rives Mansion is the only identified historically significant building in Downtown

Photo courtesy of the Downey Historical Conservancy

3.6.13.B Renovation of Existing Buildings

To the maximum extent feasible, when existing buildings are improved and/or repaired, character-defining features such as ornament, proportions of windows, storefronts, and other original features should be retained and repaired.

3.6.13.C Architecturally and/or Historically Significant Storefronts

Architecturally and/or historically significant storefronts within the Downtown Specific Plan area shall be maintained, restored, and/or rehabilitated in place. Moving of historic storefronts to other building locations for any purpose is not allowed. Any new use or renovation of a storefront shall retain to the maximum extent feasible historic features that characterize a property.

3.7 Signage Standards and Guidelines

High-quality signs contribute to the overall identity of a district, help people find their way along streets and sidewalks, and clearly mark a downtown as a destination for entertainment, dining, and civic uses. All signs within Downtown Downey shall comply with the following standards:

Image: A variety of sign types add visual interest to pedestrian

3.7.1 Procedures for Signs Requiring Permits

It shall be unlawful for any person to install, construct, erect, alter, relocate, reconstruct, or cause to be installed, constructed, erected, altered, relocated, or reconstructed within the City any sign without first having obtained a permit in writing from the City Planner and making payment of the required fees. The owners of all signs, except non-permit signs and information boards, shall obtain a permit prior to a change of copy.



3.7.1.A Application Procedure

Applications for sign permits shall be made on forms provided by the City Planner and shall be reviewed in accordance with Downey Municipal Code Section 9610.02.

3.7.2 Total Signing Area

Maximum total signing area of all permit signs for each individual business shall not exceed one and three quarters (1¾) square feet of area for each lineal foot building frontage of the tenant space.

3.7.3 Permitted Signs

3.7.3.A Permitted Signs within Downtown

The following signs are permitted within the Downtown Downey Specific Plan area:

- ▶ Canopy or Awning
- ▶ Marquee/Theater
- ▶ Multiple-Tenant Complex
- ▶ Projecting
- ▶ Wall

3.7.3.B Other Permitted Signs within Downtown Downey

For the following permitted signs, refer to Chapter 6 of Article IX of the City of Downey Municipal Code:

- ▶ Directional
- ▶ Non-Permit (signs that do not require permits)

- ▶ Temporary
- ▶ Special Events

3.7.4 Standards for Permitted Signs

3.7.4.A Canopy or Awning Signs

- ▶ Signs shall only be permitted on the Flap/Valance of the canopy or awning.
- ▶ Sign Width: Up to 66% percent of canopy/awning width. Sign shall be centered on the canopy/awning.
- ▶ Lettering Height: Maximum 66% percent of valence height, with the letter height not to exceed eleven (11) inches. Maximum one line of text.
- ▶ Supplemental Text/Graphics: Any combination of text, supplemental text and/or logo is permitted. No graphics are permitted.
- ▶ Canopy/Awning Approval: Approval of the Canopy/Awning (exclusive of signs) shall be subject to Sections 2.4.4 and 3.6.11.A of this Specific Plan.



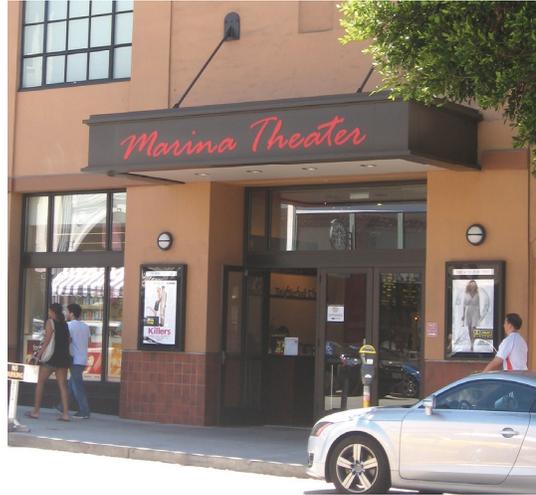
Image:
Awning with
signs on the
flap or
valance.

3.7.4.B Marquee/Theater Signs

- ▶ Signs shall only be permitted on approved marquees. Marquees that project above the public right-of-way are subject to Section 2.4.4 of this Specific Plan.
- ▶ Sign Width: Up to 75% percent of marquee width. Sign shall be centered on the marquee.
- ▶ Area: Shall not exceed 40% of the background area.

Image:
Marquee
theater signs

- ▶ Height: Maximum height of letters shall not exceed two (2) feet.
- ▶ Theater Signs – In addition to the signs allowed by this section, theaters may be permitted up to an additional 300 square feet of changeable copy sign on the marquee. This additional sign area shall not count towards the maximum allowable sign.



3.7.4.C Multiple-Tenant Complex Signs

- ▶ Signs Applicable: For buildings with multiple tenants, the following standards shall apply.
- ▶ Ground Floor Tenants: For ground floor tenants with direct public entry facing a street or parking area, all signs shall comply with the standards set forth in Section 3.7 of this Specific Plan.
- ▶ All Other Tenants: For tenants located above the ground floor, or whose public entry is not facing a street or parking area (i.e. entry is through a common hallway, lobby, etc), the following standards shall apply:
- ▶ Directory Panel: Businesses above the ground floor or not fronting the public right-of-way may be listed on a single directory panel located on a wall of the building facing a public right-of-way, which shall not exceed two (2') square feet in area per business or a maximum combined area of all businesses of thirty (30') square feet in area.
- ▶ Buildings with businesses located above the ground floor, or whose public entry is not facing a street or parking area may be permitted a building identification wall or marquee sign that shall not exceed one (1) square foot per lineal foot of building frontage.

3.7.4.D Projecting/Hanging Signs



Images:
Projecting signs should fit the scale and character of the streetscape.

- ▶ Building Frontage: One per frontage with a public entry. Additional signs may be permitted for businesses with tenant spaces that are wider than 25', provided there is a minimum twenty-five (25') feet between signs.
- ▶ Area: Maximum eight (8') square feet of sign area.
- ▶ Extension: Edge of sign maximum four (4') feet from building façade.
- ▶ Height: Top of sign maximum fourteen (14') feet from sidewalk.
- ▶ Clearance: Minimum eight (8') feet above sidewalk.
- ▶ Copy Area: Business name and supplemental text/graphics shall not exceed 75% of the background area.
- ▶ Encroachment Permit: Signs that project into the public right-of-way are subject to Section 2.4.4 of this Specific Plan.

3.7.4.E Wall Signs

Wall signs include signs on the façade or façade fascia parallel to the face of the wall shall be considered as wall signs.

- ▶ Location: Each business may be permitted no more than one (1) wall sign each façade with a public entry that is facing a street or parking area.
- ▶ Size: Wall signs shall not exceed one and one-half (1½) square feet for each lineal foot of frontage of the tenant space.
- ▶ Maximum Width: Sixty-six (66) percent of the width of the tenant space frontage.
- ▶ Maximum Projection From Wall: Maximum six (6) inches from face of wall.
- ▶ Painted Signs: Signs painted on the surface of a building or structure may be substituted for a wall sign. Such signs shall be included in the total authorized sign area.

Image: Way-finding signs help pedestrians and motorists navigate a downtown and build identity.

3.7.4.F Way-finding Program

The City should develop and implement a way-finding program to brand Downtown and assist people seeking their way to and from Downtown Downey businesses, resources, and amenities. Elements that should be provided as part of a Downtown Downey way-finding program include:

- ▶ Gateway elements that create a sense of entry and boundary to the Downtown district
- ▶ Way-finding signage posted throughout the downtown that leads people to and from parking and other key downtown resources and amenities
- ▶ Narrative, interpretive, and/or story-telling signage that describes the history, culture, landmarks, and story of Downtown Downey
- ▶ Coordination of the ongoing Downtown banner program with the way-finding program to maximize visual impact and cost benefit



3.7.5 Lighting and Design

3.7.5.A Design of Sign

- ▶ Design Elements: Elements to be incorporated into the sign design shall include the materials, letter style, colors, illumination, and sign shape.
- ▶ Overall Building Design: Signs shall be an integral part of the overall design of the building structure and shall be compatible with the buildings they identify.
- ▶ Neon: Neon that is approved by the City Planner or Planning Commission as part of the architecture of a building or group of buildings shall not be considered signage.

3.7.5.B Lighting

- ▶ Exterior Lighting: All lighting directed onto the exterior surface of a sign shall be provided with shielding devices to prevent such lighting from glaring or shining onto abutting properties and/or the public right-of-way.
- ▶ Interior Illuminated Signs: Interior illumination of signs shall either be through neon or LED strings and shall not exceed four hundred thirty (430) milliamperes, twelve (12") inches on center. Sections of signs using colored panels having low light transmission may have those panels illuminated with increased lighting equal to eight hundred (800) milliamperes intensity when certified by the installing sign manufacturer.

3.7.6 General Provisions

3.7.6.A Maintenance

- ▶ Operating Businesses: Every sign shall be properly maintained respecting appearance, structure and electrical provisions. All signs shall be cleaned, repaired or replaced within thirty (30) days following notification by the City.
- ▶ Shuttered Businesses: Any location where business goods are no longer sold or purchased or where services are no longer provided shall have sixty (60) days to remove any remaining or derelict on premises sign following notification by the City and at the expense of the owner of such property. Where the City has given written notification, and compliance has not been made within the required sixty (60) day period, the City may cause the removal of such signs with the costs for such removal to be attached to the property. For good cause shown, the City Planner may extend the specified period not to exceed ninety (90) days.

3.7.6.B Other Provisions

- ▶ Relocated Signs: A sign relocated on the same parcel of land shall be considered a new sign and shall meet all the requirements of this chapter.
- ▶ Required Information: Every sign requiring a permit shall display the name of the maker, the date of the installation and the permit number. Such information shall be clearly legible and in a conspicuous place on each sign.
- ▶ Special Permits: Nothing in this chapter shall prevent the City Council from granting a temporary special permit or otherwise permitting, on such terms as it may deem proper, signs (or the like) advertising or pertaining to any civic, patriotic, or special event of general public interest taking place within the boundaries of the City when it can be found that the same will not be materially detrimental to the public, welfare, interests or safety, nor injurious to abutting property improvements.

3.7.7 Enforcement of Signs

3.7.7.A Compliance

The City Council determines that the public peace, safety, and welfare require that all signs and advertising structures be constructed or erected subject to the provisions of this Specific Plan. The City Planner or his or her authorized representative shall not permit and shall abate any sign within the City which fails to meet the requirements of this Specific Plan or other applicable laws, including, but not limited to, failure to obtain a sign permit, creating a public hazard, and/or abandonment

3.7.7.B Nonconforming and Illegal Signs

Nonconforming signs may not be:

- ▶ Changed or altered to another nonconforming sign.
- ▶ Structurally altered so as to extend their useful life.
- ▶ Expanded.
- ▶ Reestablished after discontinuance for ninety (90) days or more.
- ▶ Repaired when the repairs exceed 50% of the reasonable replacement value of the existing sign or support structure, unless they shall be made to conform to the requirements of this chapter

3.8 Street Lighting and Furniture

The following street lighting and furniture guidelines provide conceptual direction for the design, style, and location of street furniture in Downey. Under the direction of the City Planner, a more detailed and comprehensive design development will take place prior to the selection and installation of specific lighting and furniture.

3.8.1.A Pedestrian Lighting

New pedestrian lighting shall match existing straight-neck pedestrian lights located along Downey Avenue. New lighting shall typically be placed every thirty (30') feet.

3.8.1.B Vending Machines/Newspaper Racks

No more than four vending machines shall be located within a space of four hundred (400') feet in any direction within the same block of the same street. No more than eight publication vending machines shall be allowed on any one block. See Section 6599 of the Downey Municipal Code for all other provisions regarding vending machines and newspaper racks.

3.8.1.C Bench Seating

Benches shall be located along the sidewalk to allow pedestrians to rest and people watch. Benches are encouraged near pedestrian lamps and landscaped areas.

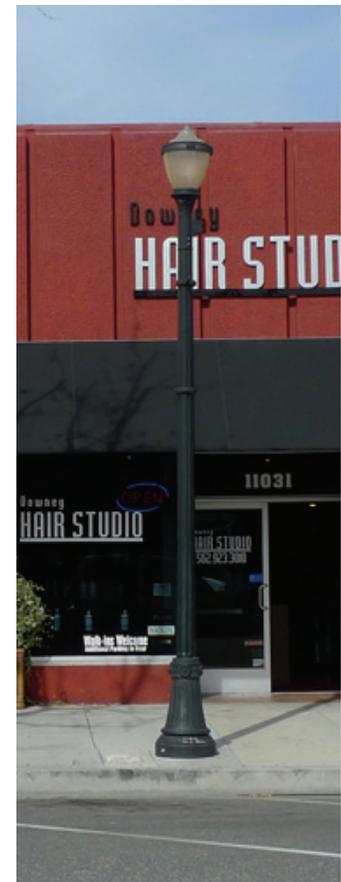


Image: Light posts along Downey Avenue shall be encouraged throughout the Specific Plan area.



Images:
Benches shall be placed throughout Downtown to encourage pedestrian activity.

3.8.1.D Drinking Fountains

Drinking fountains are encouraged in parks and plazas and other public gathering spaces.

3.8.1.E Trash receptacles

Trash receptacles shall be located near public benches and at public gathering areas.

3.8.1.F Bicycle Racks and Lockers

Bicycle racks and lockers are encouraged in well-lit locations that are easily accessible to adjacent building entries and public spaces and visible from public right of ways.



Image (top):
Bicycle parking facilities will be provided throughout Downtown to encourage easy bicycle access.

3.8.1.G Planting Pots and Boxes

Planting pots and boxes may be placed on sidewalks and front setback as long as the clear sidewalk width can meet the minimum ADA requirements.



Image (bottom): To enhance the streetscape planting pots and boxes are allowed and encouraged.

Image: This mural at the Downey Depot depicts key historical moments in the City's history.

3.9 Public Art Guidelines



Downey's public art program provides for "outdoor artworks that are easily accessible to the general public." The City requires developers to pay in-lieu fees or to install public art on projects that involve construction of commercial or light industrial buildings, residential projects with four or more dwelling units and a total cost of more than \$500,000, and reconstruction projects that increase the value of the property by 50% or more within a year. A total of 1% of construction costs with a maximum of \$150,000 must be reserved for this use. In lieu fees collected from projects within the Downtown shall be utilized in the Downtown Specific Plan area.