

Section Five:
DEVELOPMENT
STANDARDS
AND DESIGN
GUIDELINES



A. TYPES OF DEVELOPMENT ACTIVITIES

Two types of development are expected to occur on this Site: new construction and adaptive reuse.

Adaptive Reuse

When existing buildings are to be adapted for new uses, they must adhere to the terms of the Memorandum of Agreement Regarding Disposal of a Portion of the NASA Industrial Plant, Downey, Los Angeles County, California (MOA). A copy of this document is found in Appendix B of the Amended Plan. If a structure, building, or feature is not listed in the MOA, there is no need to comply with the terms of the MOA.

Guidelines within the Downey Landing Specific Plan do not apply to interior modifications, except those portions of Building 1, which must be preserved in place in accordance with the MOA.

As appropriate and feasible (to be determined by City of Downey), exterior improvements must comply with the architectural guidelines.

For any adaptive reuse project, exterior Site guidelines must be adhered to, as appropriate. Those Guidelines specifically include: Landscaping and Parking Setbacks, Landscape, Streetscape Furniture, Hardscape, Walls and Fences, Circulation, Parking, Signage, Storage, Loading & Service Areas, and Lighting.

New Construction

New construction will be required for the new uses within Downey Landing Retail Center, Kaiser Downey Medical Center and all development within the Tierra Luna Marketplace with the exception of the adaptive reuse of those portions of Building 1, which must be preserved in place in accordance with the MOA.

New construction must abide by the standards and guidelines listed below.

B. DEVELOPMENT STANDARDS AND DESIGN GUIDELINES:

Site Planning

The purpose of Site Planning Guidelines is to establish basic site layout ground rules.

Downey Landing Retail Center

- Primary entries of retail stores shall orient to the main parking lot.
- Retail and commercial uses backing onto Bellflower Boulevard must provide visual screening to block views into the rear of the buildings.
- Pedestrian-oriented areas shall be established in the following locations: food court and the areas in front of retail stores and at the pedestrian connection located at the southeast corner of the Retail Center.
- Rear facades of the food court structures shall provide well-designed and landscaped views to Lakewood Boulevard and Stewart & Gray Road.

Tierra Luna Marketplace

- As required by the MOA, a portion of Building 1 shall be preserved in place. That portion has been restored according to the Secretary of the Interior's Guidelines.
- Primary entries of retail stores shall orient to the main parking lot.
- Retail and commercial uses backing onto Bellflower Boulevard and Congressman Steve Horn Way must provide visual screening to block views into the rear of buildings.
- Pedestrian-oriented areas shall be established in the following locations: food court, area in front of retail stores and at the pedestrian spine from Building 1 and throughout the multiplex theater/hotel complex.
- The entrances to the Central Portion from Lakewood and Bellflower Boulevards should draw people into the Site.

Kaiser Downey Medical Center

- The "main" entrances to the Site shall be from Imperial Highway and from Congressman Steve Horn Way to the north.
- Secondary entrances shall be from the west edge of the Site.
- Buildings shall be grouped to create courts and to provide appropriate open space towards Imperial Highway and the park site to the west.

Setbacks

Downey Landing Retail Center

- The Retail Center requires a variety of setbacks to ensure proper siting of buildings, pedestrian areas and vehicle parking.

Landscape and Parking setbacks from:

- Stewart & Gray Road—13', clear, from curb to vehicle bumper.
- Bellflower Blvd.—13', clear, from curb to vehicle bumper.
- Lakewood Blvd.—15', clear, from curb to vehicle bumper.

Building Setbacks

- Setback from property lines to face of buildings—25'.

Tierra Luna Marketplace

Landscape and Parking Setbacks from:

- Bellflower Boulevard – 15', clear, from curb to vehicle bumper.
- Congressman Steve Horn Way – 16', clear from curb to vehicle bumper.
- Columbia Way – 15', from curb to vehicle bumper.
- Lakewood Boulevard, - 15' clear, from curb to vehicle bumper.
- Aviation Boulevard – 12', clear from curb to vehicle bumper.

Building Setbacks

- Setbacks from street curb to face of building – 25'.
- Setback from street curb to face of Building 1 (facing Lakewood Boulevard – existing dimension).

Kaiser Downey Medical Center

Landscape and Parking Setbacks from:

- Imperial Highway – 5', clear, from property line to vehicle bumper.
- Caring Way (formerly Ardis Avenue) – 5', clear, from property line to vehicle bumper.
- Congressman Steve Horn Way – 5', clear to property line to vehicle bumper.

Building Setbacks

- Imperial Highway – 25' clear from property line to building face.
- Bellflower Boulevard – 25' clear from curb to building face.
- Caring Way (formerly Ardis Avenue) and Congressman Steve Horn Way – 15' clear from property line to building face.
- Internal property lines – 10' clear from property line to building face.

Building Heights

The proposed building heights as specified in these Guidelines are within the range of building heights currently on the Site. Both market conditions and the character of the surrounding built environment preclude high-rise structures.

Building Height Guidelines include the following:

Downey Landing Retail Center

Heights are measured from the top ridge to the adjacent finished grade.

- Main structures – 36 feet in height.
- Parapet and roof enclosures (four sides) – Maximum of 50 feet in height.
- Roof Enclosures – Hidden from parking and traffic
- Food Court – 25 feet in height.
- Landscape structures, public art, or landscape features – Maximum of 40 feet in height.

Tierra Luna Marketplace

Height is measured from the street curb level to the highest point of a rooftop.

Retail/Entertainment/Hotel Complex

One-Level Building: 23 to 26-foot parapet heights with architectural elements that shall not exceed 42’.

Two-Level Building: 45 to 50-foot parapet heights with architectural elements that shall not exceed 62’.

Theatre Building: 65 to 80-foot parapet heights with architectural elements that shall not exceed 105’.

Office Buildings: 63 to 70-foot parapet heights with architectural elements that shall not exceed 83’.

Large Format Retail: 40 to 42-foot parapet heights with architectural elements that shall not exceed 61’.

Junior Anchors: 29 to 32-foot parapet heights with architectural elements that shall not exceed 42’.

Hotel: 84 to 94-foot parapet heights with architectural elements that shall not exceed 108’.

Kaiser Downey Medical Center

Within the Kaiser Downey Medical Center will be several mid-rise structures including a 6-story hospital (proposed for 8-stories), a six-story medical office building, and a six-story parking structure.

- New buildings—Maximum of 160' in height.
- Parking Structures—Maximum of 60' in height.
- Auxiliary Buildings—Maximum of 50' in height.
- Architectural features and landscape structures—Maximum of 40' in height.

Lot Size and Dimensions

Tierra Luna Marketplace

Lot area and dimensions shall be the same as specified on Tentative Maps 71543 and 71544. See Appendices E & F.

On-Site Landscaping – Tierra Luna Marketplace

- Ten percent (10%) of the site shall be landscaped.

Architecture

Buildings and structures within Downey Landing, including the Central Portion, will have visually prominent features and will establish the character of the development. It is the goal of these Guidelines to establish common characteristics among buildings.

General

- All visible elevations shall have architectural treatment comprising of colors, materials, and/or textural variations.
- Unique and enhanced treatments that act as unifying elements in the Site development throughout the project are encouraged. These treatments may include towers, fountains, and trellises.
- Building entries shall be emphasized through design, materials, color, scale, texture, and lighting.
- Building elements along sidewalks shall relate to the pedestrian. Treatments at the pedestrian level may include, but not be limited to windows, awnings, trellises, planters, and changes in materials and/or color composition.
- Varied rooflines, wall planes, and wall heights are encouraged.
- Buildings shall be visually broken up—change in volume, articulation, color composition, varying heights, and/or through ornamentation.

- Screening for equipment shall be integrated into the building and roof design – compatible materials, colors, and forms. No wood lattice or fence-like materials are allowed as screening materials. Perforated metal, wire fabric, and similar materials are acceptable.
- Roof-mounted equipment shall be setback from roof edge, placed behind parapet wall so they are not visible to motorists or pedestrians on adjacent streets or within Downey Landing itself. Integrally designed roof-mounted equipment shall be allowed with the approval of the City of Downey.
- Design references to the Site’s aeronautical history and buildings, when appropriate, are encouraged.
- Color shall be used to create visual interest and scale.
- Building walls may consist of integrally colored masonry units, painted block, painted plaster, painted concrete, metal panels, and glass or other material appropriate for uses permitted as part of the Tierra Luna Marketplace project.
- Roof access to be provided within each building.
- Pitched or gabled roofs are not permitted except as part of an architectural theme element, such as a tower.

Energy Conservation

- All new structures constructed in Downey Landing shall utilize solar or low emission water heaters or other equally effective technology designed to reduce natural gas consumption and emissions.
- All new structures constructed in Downey Landing shall have wall and attic insulation that meet or exceed Title 24 requirements.

Downey Landing Retail Center

- The architecture theme the retail center is to achieve the characteristics of buildings that are found on a main street of a business district, or downtown of a town in the USA in 1930s. Building facades are to be designed with the combination of various building materials to resemble the main materials of that period such as brick facade, brick detailing, stucco, cornice, awning, and canopy. This is to bring the building to a human scale and pedestrian friendly. Figures 5.1 and 5.2 illustrate this architecture theme.
- Ground floor level of street-facing or pedestrian walkway-facing facades of all retail, commercial, or office buildings must be at least 40 percent transparent by use of glass windows and doors or at least 60 percent treated with landscaping or architectural articulations such as change



ENTRANCE TO DOWNEY LANDING RETAIL CENTER FOOD COURT FIGURE 5.1



ELEVATION OF DOWNEY LANDING RETAIL CENTER FIGURE 5.2

of horizontal and vertical elevation, change of texture and building finishes to avoid massive amount of untreated wall. These criteria do not apply unless the façade directly faces either a street or a pedestrian way.

- Ground floor windows shall not be reflective.

Tierra Luna Marketplace

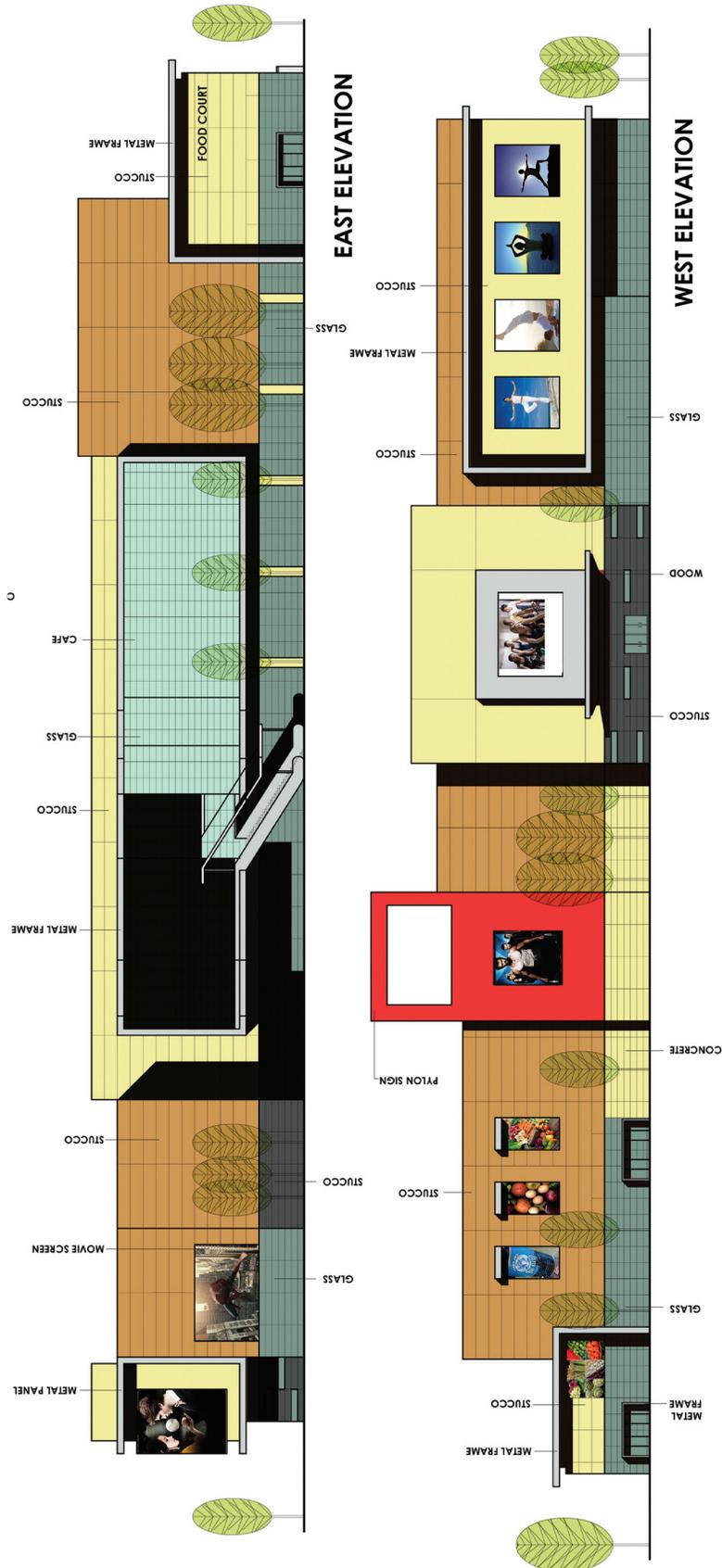
- That portion of Building 1 that will be preserved in place according to the MOA shall retain the features characteristic of its time.
- Exterior materials may include concrete, glass, plaster, and composite materials such as fiberglass, ceramic KalWal, natural and simulated stone, and resilient tiles. Exposed block is not permitted. Figures 5.3 through 5.5 illustrate proposed typical materials and finishes.
- Courtyards and patios shall be distinguished by “enhanced” treatment of hard surface areas, i.e. colored concrete, sandblasted or washed aggregate concrete, and/or the introduction of materials from materials list. Pedestrian interaction with these areas is to be encouraged through the integration of Site furniture and lighting as well as proximity to sun and shade.

Kaiser Downey Medical Center

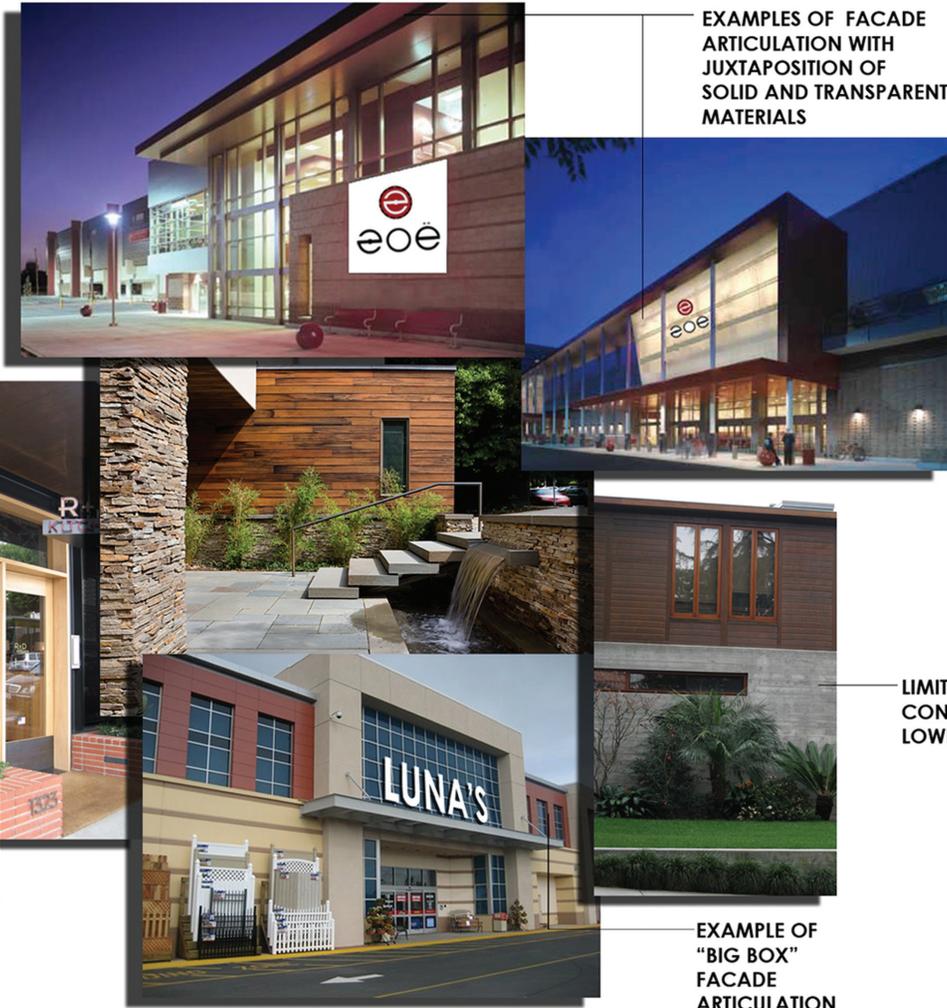
- The building massing and orientation shall be such to clearly connote pedestrian and vehicular entries.
- Building material shall be appropriate to the scale and type of project. Exterior plaster, concrete masonry, concrete, glass, and metal are acceptable materials.
- The wall fenestration shall combine openings and solids with the appropriate materials to create an overall architectural composition within the site. Contrasting colors and/or materials or design elements may be used to connote entry points.
- Courtyards and plaza areas shall be incorporated into the design to facilitate way finding and pathways.

Landscape Elements

Landscape is an integral component of overall project design, setting the stage for project-wide identity. The establishment of Landscape Guidelines promotes a compatible and continuous landscape pattern that enhances and unifies the development over time. Plantings should be designed to create year-round visual interest through the use of seasonal color, texture, heights, shapes, and habits (evergreen and deciduous). Plant materials native to California or naturally adapted “Mediterranean” species are encouraged. These Landscape Guidelines create the design character and visual qualities for development within the Specific Plan. A preferred plant list can be found in Appendix C.



TIERRA LUNA MARKETPLACE - SAMPLE RETAIL ELEVATIONS FIGURE 5.3



EXAMPLES OF FACADE
ARTICULATION WITH
JUXTAPOSITION OF
SOLID AND TRANSPARENT
MATERIALS

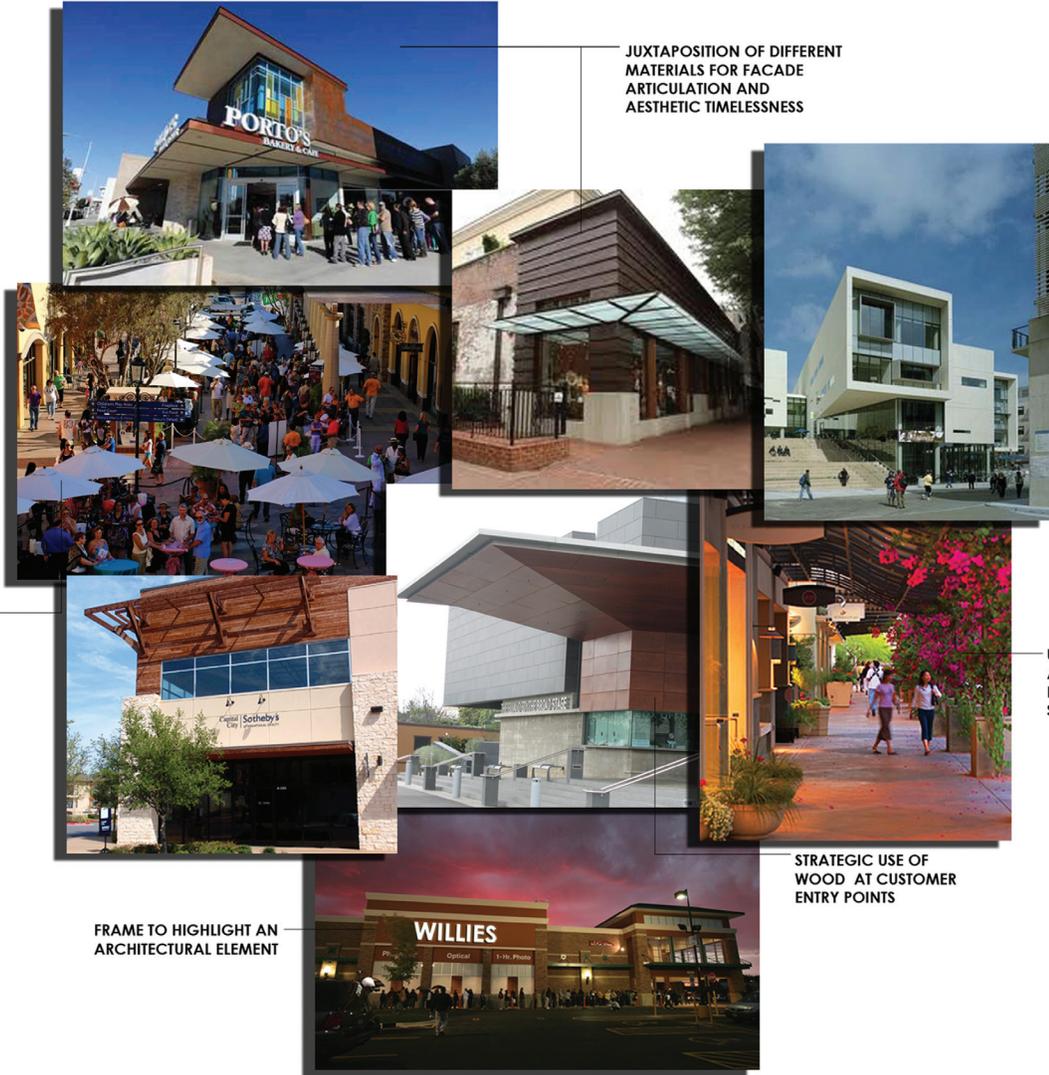
LIMITED USE OF
CONCRETE ON
LOWER LEVEL

FRAMED ENTRY

EXAMPLE OF
"BIG BOX"
FACADE
ARTICULATION

FACADE MATERIALS

TIERRA LUNA MARKETPLACE - PROTOTYPICAL FACADE MATERIALS FIGURE 5.4



JUXTAPOSITION OF DIFFERENT MATERIALS FOR FACADE ARTICULATION AND AESTHETIC TIMELESSNESS

“ACTIVATED” CUSTOMER EXPERIENCE

USE OF PLANTERS AND TRELLISES TO ENHANCE PEDESTRIAN STROLLING EXPERIENCE

STRATEGIC USE OF WOOD AT CUSTOMER ENTRY POINTS

FRAME TO HIGHLIGHT AN ARCHITECTURAL ELEMENT

ARCHITECTURE

TIERRA LUNA MARKETPLACE - PROTOTYPICAL ARCHITECTURE FIGURE 5.5

The goals of these Guidelines are to provide for water-efficient planting, neat, and well maintained appearance in areas not occupied by buildings, parking, or streets and drives; to enhance the existing Site character; to minimize adverse visual and environmental impacts of large paved areas; and to promote the conservation of water and electricity.

General

- Landscape design and plant material selection will encourage drought-tolerant plant materials. Use of turf shall be limited to accent areas, activity areas, or in parkways, between sidewalk and street.
- All required landscaping shall be continually preserved and maintained, including watering, weeding, fertilizing, spraying, pruning, root aeration, and irrigation repair.
- Plant materials shall be encouraged in front of buildings to break up long walls.
- A single species of tree should be used for each major parking area.
- Drip irrigation is recommended for narrow planting areas and planting areas adjacent to parking areas.
- The landscape plans developed for the project shall identify the location of shade trees to shade the on-site walkways.

Landscape Zones

In order to provide landscape definition and plants appropriate for certain areas of the Downey Landing property, Landscape Zones have been defined as a means of providing visual interest. Examples of appropriate plant materials are found in Appendix C.

Perimeter Zone

Perimeter landscaping around the project zones shall provide a consistent edge treatment using a limited variety of plant materials. This edge in all zones will act as a foreground between development and the street. Views into the Site are to be designed in a manner to create interest and beauty. Large canopy shade trees and ornamental trees along the perimeter edge should blend and accent entry formal plantings.

Low berms with landscaping shall be used along the entire perimeter of the Site.

Lakewood Boulevard

Plantings along the Lakewood Boulevard frontage shall be grouped in informal drifts and tree quantities shall be determined by the length of the property adjacent to the street divided by the recommended spacing of each tree variety. The sidewalk should run through the middle of the planting drifts. Informal drifts will taper off 20 feet before entry points to accent the formal entrance plantings. All parkway planting shall be subject to review and approval.

Ground cover, low shrubs, and small trees will be placed on the inside curve of the drifts in addition to the street trees will create a shade pattern of heavy to low shade along the curvilinear path. Low shrubs will block views of autos and be kept at a safe height for pedestrians.

Bellflower Boulevard and Imperial Highway

Plantings along Bellflower Boulevard and Imperial Highway shall be consistent with those existing along those streets

Stewart & Gray Road

To provide an inviting doorway into the site from the adjacent uses, especially residential areas, low berms will be planted with small shrubs, accent plants, and trees.

Congressman Steve Horn Way

- Boulevard trees shall flank both sides of the street to create a symmetrical allée of trees along the road.

Columbia Way

- Landscaping shall be consistent with the plantings used along the portion of the site that fronts Lakewood Boulevard.

Parking Areas

General

- Landscaping shall be evenly distributed (but not necessarily uniformly) throughout the parking lot.
- The size of a single parking lot shall not exceed four acres, unless divided by a building, major drive or a major row of trees.
- Parking lot planter for trees shall be minimum 25 square feet and minimum dimension of 5 feet.
- Planters with trees shall be placed appropriately throughout parking lots to achieve required shading.
- Long planters accommodating multiple trees are preferred over individual tree wells.
- Planters shall be protected by use of raised curbs. All raised curbs in the parking lots shall be a minimum of six inches in height and four inches in width. Curbs will not be used adjacent to a public R.O.W.

Tierra Luna Marketplace

- Landscaping shall be evenly distributed throughout the parking areas planted sufficiently to achieve complete coverage within one (1) year of initial planting. Islands at the end of parking lanes shall be provided to help achieve "orchard" parking lot landscaping.

- Parking lot planters for trees shall contain a minimum area of 25 square feet and shall have a minimum dimension of five (5) feet, exclusive of curbs.
- Parking lot trees shall be provided using the following spacing standard: One (1) planter with groundcover for every four parking spaces.
- A landscape planter shall separate the end of each parallel stall row from driveways; the planter shall have a minimum width of five (5) feet, exclusive of curbs.
- Where vehicular parking areas abut a property line wall/fence, an irrigated planter area shall be provided, not less than 4' feet in width.

Kaiser Downey Medical Center

- Landscape shall be used to provide way finding to, from, and among facilities.
- Landscaped courtyards and plazas shall be designed to complement the design of the buildings and provide a "healing" environment.

Water Features

Downey Landing Retail Center

Downey Landing will use a water element in the Retail section and at the entry into the Commercial area off of Lakewood Boulevard.

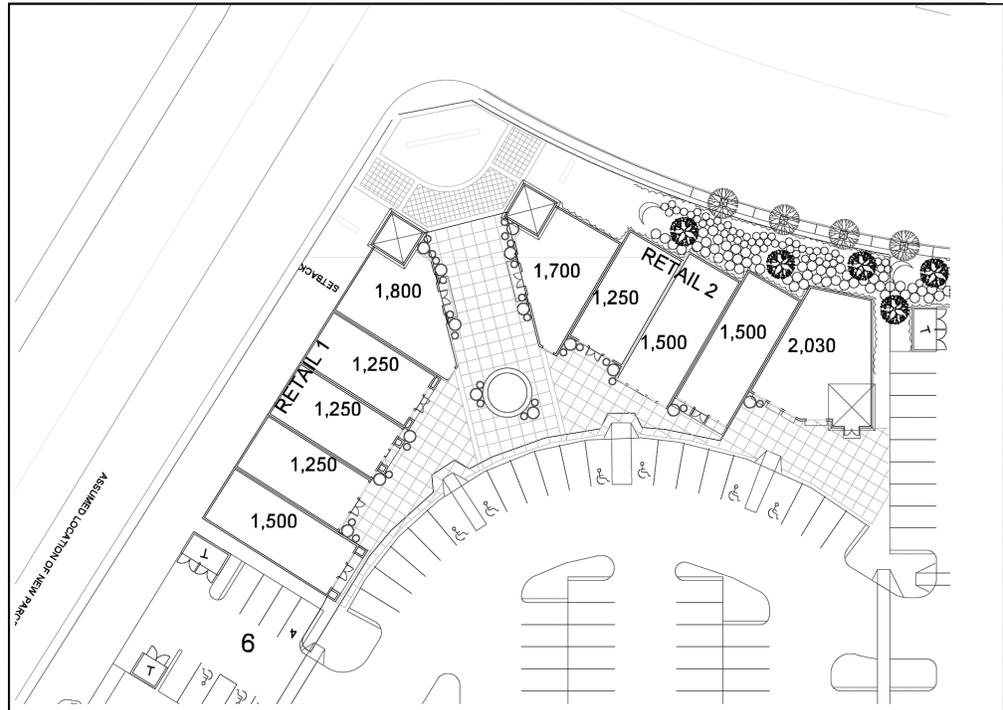
In the retail area, water is used in the food court area as an attractive center to the community plaza, which is created in the patio area. The water feature has seating around the edge and is significant for its design and the visual and audio pleasure.

In the Commercial Zone, the water feature is more monumental and designed to be viewed from Lakewood Blvd, as well as from vehicles entering off the street. It is a spectacular yet refined water statement, which sets the area apart from the norm. Figure 5.6 illustrates the view of the main entrance into the Retail Center Food Court.

Entry Landscaping

Primary

- The entries shall be landmarks of the complex, attracting and guiding visitors. At the entry, trees shall be grouped together providing shade and sense of scale. Symmetrical, boulevard tree plantings on both sides of the main entry drive shall be used. Curbed areas where drives meet streets should be checked for visibility impairment as a result of signage and plantings.
- Features at the main entries shall consist of a monument or other sculptural feature that is visible to vehicles and is in character with the architectural style prevalent throughout the Site.



NTS

DOWNEY LANDING RETAIL CENTER FOOD COURT ENTRY FIGURE 5.6

- Main drives, in districts other than Downey Landing Retail Center, shall have, at a minimum, five-foot detached landscaped walkways with a two-foot planter/parkway.

Secondary

- To de-emphasize these entries, a scale-down planting plan (similar in concept to those at the main entries) shall be designed at all secondary entries.

Figures 5.7 and 5.8 illustrate the details of entry landscaping for the Retail Center Site.

Streetscape Furniture

Streetscape furniture is essential for fostering a pedestrian-oriented environment. The provision of pedestrian amenities encourages healthy employees, a cleaner environment, and a reduction of vehicle trips through the project.

A unified family of street furniture shall be used throughout all Downey Landing to help establish a sense of identity and consistency.

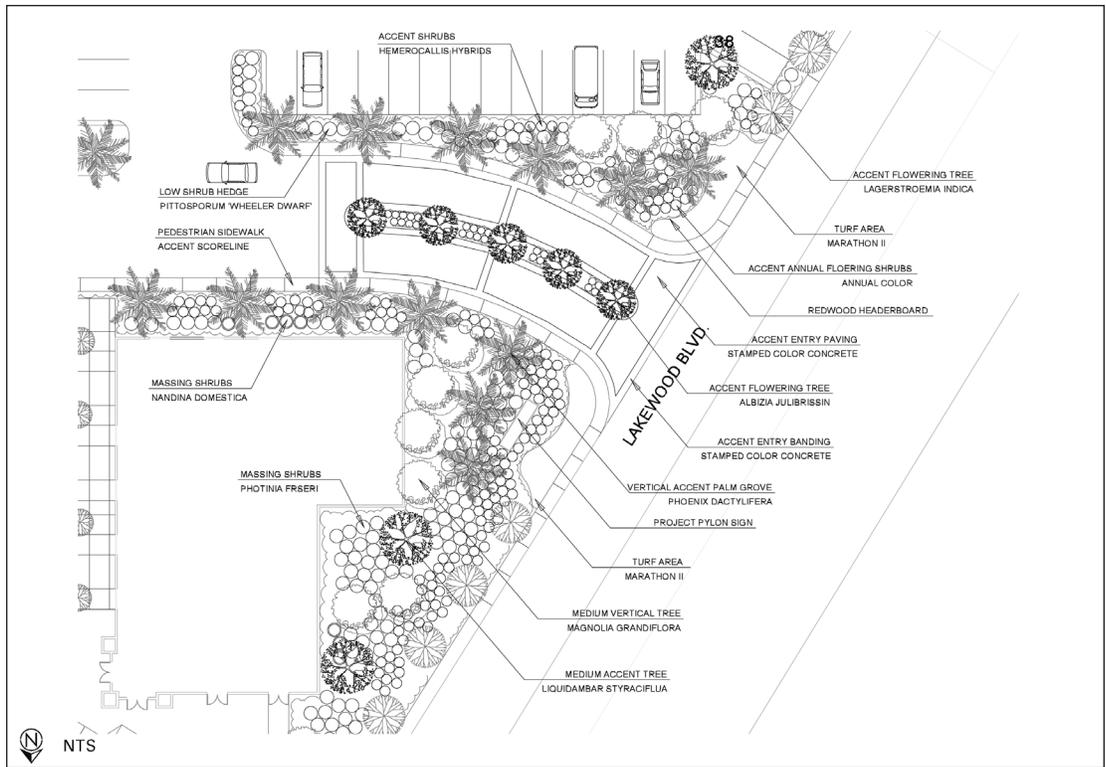
Streetscape Furniture Guidelines include:

- The Site plans developed shall incorporate street furniture along on-site pedestrian pathways.
- Streetscape furnishings such as benches, bollards, and trash receptacles should reflect the overall theme of the development.
- Street furnishings may be individually selected within each of the four main districts.
- A common set of street furnishings shall be selected for use along the pedestrian network and in common open space areas.
- Sun and rain shelters at public transportation stops shall be installed. Design of the shelters shall reflect the architectural or stylistic theme of Downey Landing.

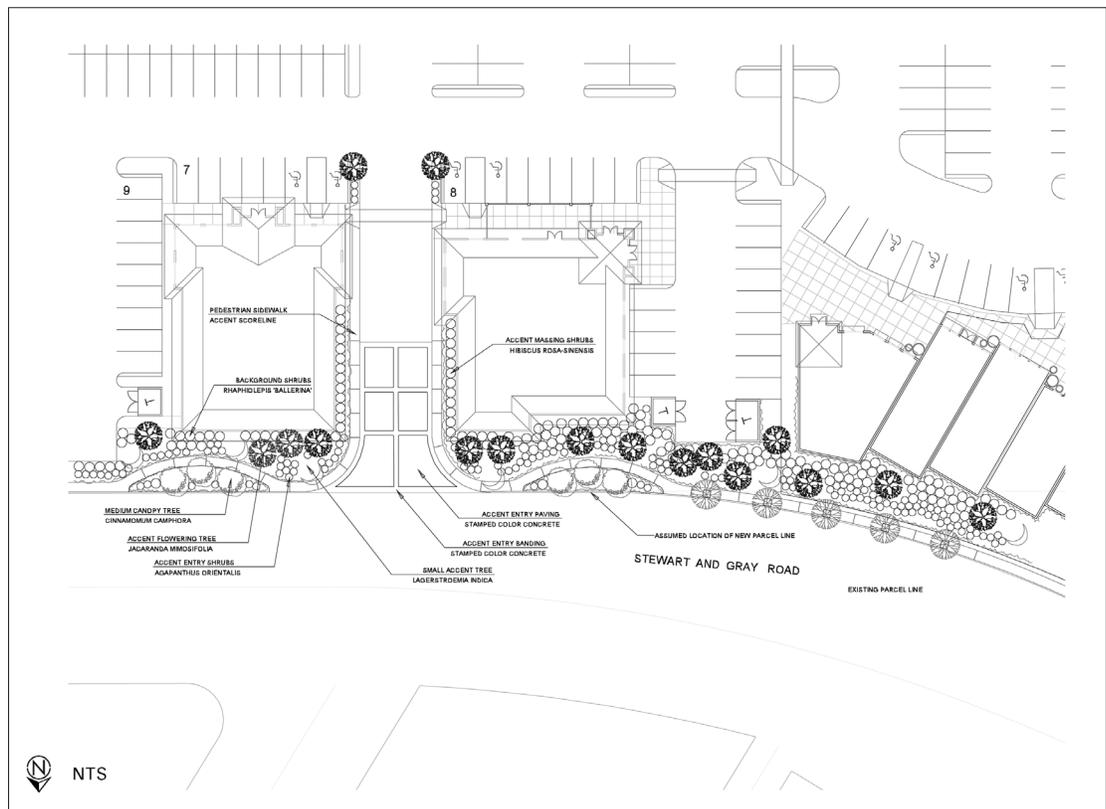
Hardscape Elements

General

- The use of an enriched paving treatment shall be used for major entries into the Site, at building entry plaza areas, and vehicular drop-off areas. Examples of enhanced materials include stamped concrete with surface stain or integrally colored, score patterns, and special finishes such as exposed aggregate, pavers, and tile inserts.
- Paving materials shall serve as a primary means of unifying the appearance of the project while at the same time providing interest and character to key areas.



DOWNEY LANDING RETAIL CENTER LANDSCAPE FIGURE 5.7



DOWNEY LANDING RETAIL CENTER LANDSCAPE FIGURE 5.8

- Main drives, in districts other than the Downey Landing Retail Center, shall have, at a minimum, five-foot detached landscaped walkways with a two-foot planter/parkway.
- Enriched paving treatments of colored, textured concrete or asphalt shall be used to visually denote crosswalks across driveways.

Walls and Fences

As an essential and project-wide design element, walls and fences are required to be consistent throughout Downey Landing. Requirements are outlined below. Only the fencing types listed below are permitted within the Site. Chain-link and wood fencing is specifically prohibited.

Permitted Fence and Wall Types

Masonry

- Masonry wall materials and colors shall complement building colors, finishes, prevailing materials, and design elements. The design of the walls and fences shall include pilasters, wall caps, or other architectural features. Pilasters intervals shall be 50' or less.
- Masonry walls shall be screened from the street by landscape.
- Masonry walls, pilasters, and wrought iron/painted steel tubing may be combined in a single fence.

Wrought Iron/Steel Tube Fencing

- Wrought iron or steel tube fencing is permitted.
- Metal fencing shall be painted dark blue, dark green, or black.
- Metal fencing shall have stone, masonry, or metal pilasters placed at an interval of 50 feet or less.

Downey Landing Retail Center

- A solid, six-foot masonry wall will be located along the property line of Bellflower Boulevard. This wall will be located behind the retail structures, from the corner of Bellflower and Stewart & Gray Road and the driveway serving the retail center.
- A solid masonry wall or landscaped metal fence, not exceeding ten feet in height, will be located at the rear "property line" between the Retail Center and the Tierra Luna Marketplace.

Tierra Luna Marketplace

- A solid, six-foot masonry wall will be located along the property line of Bellflower Boulevard, where the rear of buildings back up to the street.

Kaiser Downey Medical Center and Park

- A solid masonry wall, not to exceed 10' in height may be located on the south property line of the Columbia Memorial Space Center/Discovery Sports Complex.

Circulation

The goal of the circulation guidelines is to help move vehicles to the outside road network and to create an alternative network of mobility options that decrease the reliance of personal vehicles for internal trips.

General

- A Site-wide Transportation Demand Management program shall be prepared and implemented on an on-going basis to encourage ridesharing and/or use of public transportation. All employers shall be required to participate in the program as part of the lease contracts.

Streets

- A clear circulation hierarchy with main drive routes, clearly defined by landscaped areas, shall be developed for the Site.
- The entry drives, at major entries along Imperial Highway, Columbia Way (formerly Clark Avenue), Bellflower Boulevard, Congressman Steve Horn Way and Lakewood Boulevard, shall be designed with a minimum five-foot wide median.
- Street widths, design standards, and designations shall conform to existing City of Downey standards and criteria.
- Street markings and required signage shall conform to existing City of Downey standards and criteria.
- Driveways shall be paved with concrete curbs and gutters.

Pedestrians

- The Site plans developed for the project shall incorporate pedestrian safety designs and infrastructure at street/driveway crossings.
- Continuous parking lot walkways shall be located at key locations to allow pedestrian movement between buildings and to reduce conflicts with vehicles.
- A pedestrian promenade shall be provided along the retail frontage in the Downey Landing Retail Center.
- Pedestrian paths shall use common design elements including pedestrian-scaled light standards, benches, and trash receptacles.

- All pedestrian walks shall be designed to provide access in compliance with the Americans with Disabilities Act (“ADA”) and Title 24 of the State of California Public Resources Code.
- All pedestrian crossings shall be plainly marked by painted stripes or by use of a contrasting paving material.
- Light poles and transformers shall not encroach onto the sidewalk.
- The primary project-wide pedestrian network shall have a minimum five-foot-wide landscaped pedestrian path.

Public Transportation

- Public transportation shall be encouraged by locating bus stops and shelters where MTA or Downey LINK stops are located.
- Use of the Green Line light rail system shall be encouraged by providing on-site maps and directions to the Green Line Station.
- The Site plans developed for the project shall incorporate transit shelters and benches at appropriate locations along the Site perimeter. The transit stops shall include route signs and displays.

Parking

For the Downey Landing, land uses require parking for the majority of peak periods. Well-designed parking lots will have well marked travel paths and parking spaces of sufficient size to accommodate typical modern personal vehicles, including SUVs. These parking standards supercede the requirements of the City’s Municipal Code.

- Parking stall sizes shall be 8.5’ X 18’, minimum.
- The Site plans developed for the non-retail areas of the project shall designate preferential parking spaces for carpool/vanpool parking.

Parking Standards for Tierra Luna Marketplace

- Retail/Restaurant: 3.24 spaces/1000 sq. ft.
- Movie Theater: 0.09 spaces/seat
- Hotel: 0.44 spaces/room
- Office: 3.09 spaces/1000 sq. ft
- Medical Office: 4.5 spaces/1000 sq. ft.

Shopping Carts

- Shopping cart islands shall be provided at multiple locations within the parking islands.

- Shopping cart storage shall not be provided on the exterior of buildings, it shall be designed as an integral part of the building architecture. Such shielded storage areas shall not interfere with pedestrian walkways.

Signage

The sign program has been established for the purpose of assuring that all signage and graphic elements within Downey Landing are consistent with the project development plan and established architectural standards. This program shall serve as the singular guideline for all signage design on or around the exterior of the project and visible from public right-of-ways. A project sign criteria program is a requirement of the City of Downey.

Approvals and Compliance

- All signage plans, permanent or temporary, must be reviewed and approved by an authorized agent of the Downey Landing at Downey Management prior to submittal to the City of Downey Planning Staff.
- All signage, permanent or temporary, must comply with the approved signage plan for The Downey Landing in Downey and have the required City of Downey Building Permits prior to installation.
- Where interpretation of these guidelines is not clear, the Director of Community Development and/or his designee shall make decision and clarification.
- The sign area shall be defined as the area including all figures, which is an integral part of the sign. Decorative or structural sign supports shall not be included in the calculation of sign area.
- Actual quantities may vary. Specified quantities are minimums.
- All signage shall conform to sight distance and visibility design requirement to avoid impeding the ability of commuters to view oncoming traffic.

Downey Landing Retail Center

Project Identification - Primary Project Gateway Sign

- Height: Maximum 80' above entry road grade 14' minimum clearance if spanning across primary entries to Project parking areas.
- Area: 800 sq. ft. Maximum (will include project name and up to 10 panels for anchor tenants)
- May include sculptural design elements on each side of entry, as part of the support column structure, which will not be calculated as part of the allowable sign area.
- Tenant name listing panels must be integral parts of overall sign design. Materials, lighting technique, and placement must be consistent for all tenant panels.

Secondary Project Monument Signs

- Height: Maximum 10' above entry road grade.
- Area: 400 sq. ft. Maximum per side (project name only).
- Sign may include project name.
- Project name and non-sign elements (base, columns, etc.) should relate to the design motif and use of materials as established in the primary project identification signs.

3rd Level Signs—Interior signs visible to exterior

- Professionally prepared signs may be placed no closer than 12 inches to any window area and shall not occupy more than 10 percent of this total area if tenant should not be attached to this glass area.
- Exterior banners as permitted for the first 30 days after tenant opens for business.

Primary Tenant Wall-Mounted Sign

- Height: Not to extend above buildings parapet.
- Area: 2.25 multiplied by building front footage Maximum (project name only included in calculation).

Secondary Tenant Wall-Mounted Sign

- Height: Not to extend above buildings parapet.
- Area: one half of the area allowable of primary project wall sign.
- One wall sign may be attached to each building elevation.

Directional Signs

- Height: 6' maximum above grade.
- Area: 18 sq. ft. Maximum per side (sign panel only included in calculation).
- Sign may be internally or indirectly illuminated.
- Sign may carry tenant names and logos in a standardized color.

Freestanding Kiosks

- Height: Up to 8'.
- Area: Up to 50 sq. ft.
- Illuminated internally and externally.

Downey Landing Entry Sign

- Height: Up to 10' (max).

- Area: 80 sq. ft. (sign only)
- Illuminated (internally & externally)
- Sign will carry name of center and logo.

Retail Tenant Identification Signs

- Creativity, uniqueness, and high-quality materials shall characterize signage elements used to identify retail tenants in The Downey Landing in Downey. Each storefront will be a custom design with graphics appropriate to the individual storefront's design vocabulary.
- Sign area for tenant signage will be calculated around the sign copy only, as contained by a box of up to 8 continuous straight lines (with right angles) formed around the extreme outer limits of the sign message and will not include elements integral to the storefront design.
- These criteria apply only to tenant signage visible from public right-of-way.

Building Mounted Storefront Signs - Allowable Signage Area:

- Individual letters: 4 feet tall with exception of logo or marquee, which could be 6 feet tall.
- Tenant spaces with less than 15,000 sq. ft. can install cabinets for their logos and corporate identities only. Tenants are permitted one sign per elevation.
- Tenants with stores greater than 15,000 feet will be allowed 6-foot letters, and cabinet type sign or logos only.
- Tenants occupying more than one story shall have signage allowances doubled.
- Retail tenant signage may occur on each elevation of leased floor area.
- Sign may be individual letters only. Letters to be an integral part of the overall storefront designs.
- Creative use of lighting sources is encouraged, internal or indirect.
- Lighting fixtures must be designed as an integral part of the signage and storefront design.
- Exposed neon will be permitted only if submitted as part of an overall store front design scheme and must meet all U.L. and local building code standards. Where used other than in letters, neon, will not be considered a sign, but will be subject to all general storefront design criteria.
- Logo marks and corporate identity elements (such as mascots, symbols, special shapes, etc.) are encouraged, but will be considered signage and are subject to all regulations contained in these guidelines if the mascot, symbols, and special shapes are larger than letters by 1 foot.

Tierra Luna Marketplace

This sign program has been established for the purpose of assuring that all signs and graphic elements within the Central Portion are consistent with the development plan and established architectural standards. This program shall serve as the singular guideline for all signage design on or around the exterior of the project and visible from the public right-of-ways. A project sign criteria program is a requirement of the City of Downey. Graphics illustrating proposed locations for signage described below is found in Appendix E, Signage Program, of this document.

Approvals and Compliance

- All signage plans, permanent or temporary, must be reviewed and approved by an authorized agent of the property owner prior to submittal to the City of Downey Planning Staff for review and approval.
- All signage, permanent or temporary, must comply with the approved signage plan for the Tierra Luna Marketplace or other proposed project on the Central Portion and have the required City of Downey Building permits prior to installation.
- Where interpretation of these guidelines is not clear, the Community Development Director and/or his designee shall make the decision and clarification.
- The sign area shall be defined as the area including all figures, which is an integral part of the sign. Decorative or structural sign supports shall not be included in the calculation of the sign area.
- All signage shall conform to sight distance and visibility design requirement to avoid impeding the ability of commuters to view oncoming traffic.

Design Criteria for all Building and Free-Standing Signage

- This signage program has been developed as a guideline for all signage and graphic elements at the Tierra Luna Marketplace. These criteria shall serve as the guideline for all signage design on or around the exterior of the site.
- All tenant names and non-tenant names are required to be aluminum reverse channel letters, internally illuminated and pinned off the face of the face of the building. The typeface can be the corporate standard for the tenant.
- Signage on all other signs shall be aluminum channel letters externally illuminated or mounted on backlit panels that are integral to the design of the signage element.

Project identification – Pylon

- Design: The two pylon signs will be designed in keeping with the overall theme of the project and will be two sided.

- Area: 1,500 sq. ft. maximum; this includes the project name and up to 10 anchor tenants' names and logos.
- Height: Maximum 80' above top of curb with a 15' minimum setback from the sidewalk to the base of the signage element and no part of the sign shall extend over the public right-of-way.
- Tenant Names: up to 10 anchor tenant names will be allowed within the overall area of the pylon sign.

Project Identification – Low Pylon

- Height: 15'-0" wide x 25'-0" high.
- Area: 375 sq. ft. maximum, two sided sign with project name and tenant names (9 maximum) on both sides.
- Design to be consistent with the theme of the project.

Project Monument Signs - Secondary Monument Directional

- Height: 12'-6" wide x 7'-0" high.
- Area: 87'-6" sq. ft. maximum per side.
- Sign may include the project name and three major tenant names.
- Tenant name listing panels must be integral parts of the overall sign design.
- Materials, lighting technique, and placement must be consistent for all tenant panels.

Tower Signage Theatre Building

- Height: 40'-0" wide x 105'-0" tall, with a 30' x 20' Digital panel which will be utilized for the promotion of upcoming films. Movie Posters at 16' wide and 20' tall (6 total).
- Area: 4,200 sq. ft. maximum area.
- The digital panel and the other signage connected with the theatre building shall be used to only promote current and upcoming films.

Tower Signage Parking Structure

- Height: 40'-6" wide x 40'-0" high (not to extend above top of parking structure).
- Area: 1,600 sq. ft. maximum per side.
- Sign may include the project name and eight major tenant names.
- Tenant name listing panels must be integral parts of the overall sign design.
- Materials, lighting technique and placement must be consistent for all tenant panels.

- Project name and non-sign elements (base, vertical elements, etc.) of the two parking structure tower signs should relate to the design motif and use of materials in the primary project identification signs.

Hotel - Low Pylon

- Height: 17'; width: 10'
- Area: 73'-6" sq. ft. maximum per side.

Large Format Anchor Signage

Primary Tenant Wall-Mounted Signs

- Height: not to extend above the parapet of the building; maximum height for the tenant name 72", and 36" for a non-tenant name; corporate logo may be larger than the tenant name size and location to be approved by the Community Development Department.
- Maximum sign area: 3.0 sq. ft. x the lineal frontage of the tenant space.
- Tenant name signs/logos: one tenant name wall sign and logo per elevation
- Non-tenant name signs: prospective non-tenant name wall signs shall be submitted to the Community Development Director for his approval.

Secondary Tenant Wall-Mounted Signs

- Height: not to extend above the parapet of the building.
- Maximum Sign Area: one half the maximum allowable area for the primary tenant wall-mounted sign.
- Tenant name signs/logos: one tenant name wall sign and logo per elevation.
- Non-tenant name signs: prospective non-tenant name wall signs shall be submitted to the Community Development Director for his approval.

Junior Anchor Signage

Primary Tenant Wall-Mounted Sign

- Height: not to extend above the parapet of the building; maximum height for the tenant name 36"; and 30" for a non-tenant name.
- Maximum Sign Area: 3.0 sq. ft. x the lineal frontage of the tenant space.
- One tenant name wall sign per elevation.

Secondary Tenant Wall-Mounted Sign

- Maximum sign area: one half the maximum allowable area for the primary tenant wall-mounted sign.

Office Signage - Wall Signs

- Height: not to extend above the parapet of the building; maximum height for the tenant name 36", and 30" for a non-tenant name.

- Area: 3.0 x the lineal frontage of the tenant space.
- Maximum of one sign per elevation on the top fascia band and one per elevation on the fascia bulkhead between the first and second floor.

Hotel Signage - Wall Signs

- Height: not to extend above the parapet of the building; maximum height for the tenant name 36", and 30" for a non-tenant name.
- Area: 3.0 x the lineal frontage of the tenant space.
- Maximum of one sign per elevation on the top fascia bulkhead and one per elevation on the fascia bulkhead between the first and second floor.

Restaurant Signage - Wall Signs

Primary Wall-Mounted Sign

- Height: not to extend above the parapet of the building; maximum height for the tenant name 36", and 30" for a non-tenant name.
- Maximum sign area: 3.0 sq. ft. x the lineal frontage of the tenant space.
- One sign may be attached to each elevation.

Secondary Wall-Mounted Sign

- Maximum sign area: one half the maximum allowable area for the primary wall-mounted sign.

Small Shop Signage

Primary Wall-Mounted Sign

- Height: not to extend above the parapet of the building; maximum height for the tenant name 36", and 30" for a non-tenant name.
- Maximum sign area: 3.0 sq. ft. x the lineal frontage of the tenant space.
- One sign may be attached to each building elevation.

Secondary Wall-Mounted Sign

- Maximum sign area: one half the maximum allowable area for the primary wall-mounted sign.

Advertisement Signage

- Design: Scrim type digitally printed advertising signage stretched over a metal frame that is supported out from the face of the building.
- This signage is intended to be changed out at least 4 times a year or more often. This signage can advertise any tenant of the center or advertisements in general like car dealers, movies, beverages and any other corporate advertisers.
- Dimensions: The dimensions of the project's scrim shall be approved by the Community Development Director.

- Permitted location for scrim: 1) The elevations of Junior Anchor stores that face Bellflower Boulevard (easterly elevations); and 2) the southerly and easterly elevations of the 3-level parking structure at the intersection of Congressman Steve Horn Way and Caring Way.

Historic Walk Signage

- Design: This signage element is intended use is to tell the story of this historically rich Site at each location (10 to 15 total signs) the signage will include a digitally presented story with a looping presentation that focuses on a period of the Sites use and contribution to history.
- Height: 3'-0" x 5'-0" sign area 36" above grade.

Storage, Loading and Service Areas

The goal of these Guidelines is to maintain a visually pleasing environment by concealing or minimizing the negative visual impact of storage, loading, and service areas.

- These areas shall be designed and located on the site so they are screened from public view.
- Loading and service areas should be located away from the storefront and pedestrian circulation areas.
- Service areas shall be screened from view by building design, layout, masonry walls, or a combination of walls and plantings or berms.
- Construction shall be compatible with and, in the case of loading and service areas, integral with the building architecture. Chain link fencing shall not be allowed.
- Trash collection areas are to be designed to ensure that refuse and refuse containers are not visible from primary exposure areas (streets, entries, amenity areas, etc.).
- Trash collection enclosures are to be designed with the same materials, finishes, and colors as the adjacent building. Solid metal gates shall be provided.
- Trash collection areas shall be designed and located so as to be convenient for deposit of refuse and recyclables generated onsite.
- Trash enclosures shall not be permitted within the streetside building setback.
- Trash enclosures shall have a minimum 3-foot-wide landscape planter on all non-accessible sides with the exception of the retail service drive.
- Refuse collection vehicles are to have clear and convenient access to these areas.

- Service vehicle activities shall not disrupt the efficient flow of on-site and off-site traffic.
- Transformer and other aboveground utilities, where required, shall be screened as described for trash enclosures or by using a masonry wall and landscaping.

Outdoor Storage

With the exception of the cases presented below, no outdoor storage is permitted within the Downey Landing project and Tierra Luna Marketplace. When outdoor storage is permitted, it will not be visible from surrounding properties, buildings, parking lots, or streets.

- Outdoor storage is permitted for a garden center or nursery.
- Functions including trash compacting and areas for baling and pallet storage shall be screened from public view by means of a solid enclosure. This enclosure shall be of the same materials, colors and design as the structure it serves. No materials or equipment may be visible over the top of the enclosure. The perimeter or walls of the enclosure may be landscaped. Opaque metal gates are required.
- Trash enclosures are not permitted within the public rights-of-way nor in setback areas.

Service Delivery Area

- Each off-street loading space shall have a minimum 15-foot height clearance, shall not be less than 12 feet wide, and shall not be less than 20 feet long.
- Loading docks, loading wells, and service and delivery areas shall be screened, recessed, and/or enclosed so they are not visible from public right-of-ways and shall not interfere with circulation of parking areas and driveways.
- Loading, service and delivery areas shall not encroach into any required landscape area. Each space shall be designed and located so vehicles shall not extend onto public sidewalks or street or required driveways in the course of loading or unloading goods.
- No part of alley, street, fire lane, or drive aisle shall constitute part of a loading area. No loading zone provided in connection with a building shall be eliminated or reduced in size.
- No materials, supplies or equipment shall be stored in any area on Site, except within an enclosed building and enclosed garden center.

Lighting

Lighting shall be placed to direct and control glare, obtrusive light, and upward directed, wasted light.

- All light fixtures are to be concealed source/full cut-off fixtures except for pedestrian-oriented lights.
- Light standards in parking areas shall not exceed 43 feet in height.
- Lighting shall provide a minimum average of one foot-candle in parking lots and in pedestrian areas.
- Parking lot lights shall be clear white sodium lights or LED lighting and shall be consistent throughout the development.
- Lights in parking areas shall be mounted on three-foot high concrete bases only if they are stand-alone fixtures.
- Lights in parking lots shall not be co-located with trees in planters where they impede lighting. The lighting and landscape plan must be fully integrated and coordinated.
- The site plans developed for the project shall incorporate street lighting that illuminates pedestrian pathways.
- Fifteen foot maximum height pedestrian lights shall be provided along pedestrian and bicycle ways.
- Service area lighting shall be contained within the service yard boundaries and enclosure walls. No light spillover shall occur outside the service area. The light source shall not be visible from any streets and residences.
- Building illumination and architectural lighting for all structures not in the Downey Landing Retail Center or Tierra Luna Marketplace shall be indirect. Floodlights are prohibited in all areas except the Downey Landing Retail Center and the Tierra Luna Marketplace.
- Architectural lighting should articulate the building design as well as provide functional lighting for the safety of pedestrian movement.
- The use of low-level lighting to enhance the architecture, landscape, or other features is encouraged.
- Security lighting fixtures shall not project above the fascia or roofline of the building and are to be shielded. The shields shall be painted to match the surface to which they are attached. Security lighting fixtures are not to be substituted for parking lot or walkway lighting fixtures and are not restricted to lighting only loading and storage locations or other similar service areas. All security lighting designs shall be fully shielded (full cut-off).

- Strings of white or clear lights shall be allowed on trees and as accents for building details and for holiday decorations.
- Colored lights may be used for holiday decorations.

Construction Impact Mitigation

2002 Final EIR – Downey Landing Retail Center and Kaiser Downey Medical Center (Original Plan)

Construction Impacts

Develop and implement a construction management plan, as approved by the City of Downey, which includes the following measures recommended by the SCAQMD, or equivalently effective measures approved by the SCAQMD:

- Configure construction parking to minimize traffic interference.
- Provide temporary traffic controls during all phases of construction activities to maintain traffic flow (e.g., flag person).
- Schedule construction activities that affect traffic flow on the arterial system to off-peak hours to the degree practicable.
- Re-route construction trucks away from congested streets.
- Consolidate truck deliveries when possible.
- Provide dedicated turn lanes for movement of construction trucks and equipment on- and off-site.
- Maintain equipment and vehicle engines in good condition and in proper tune as per manufacturers' specifications and per SCAQMD rules, to minimize exhaust emissions.
- Suspend use of all construction equipment operations during second stage smog alerts. Contact the SCAQMD at 800/242-4022 for daily forecasts.
- Use methanol or natural gas-powered mobile equipment and pile drivers instead of diesel if readily available at competitive prices.
- Use propane- or butane-powered on-site mobile equipment instead of gasoline if readily available at competitive prices.

Dust

Implement all rules and regulations by the Governing Board of the SCAQMD which are applicable to the development of the project (such as Rule 402—Nuisance and Rule 403—Fugitive Dust) and which are in effect at the time of development. The following measures are currently recommended to implement Rule 403—Fugitive Dust. These measures have been quantified by the SCAQMD as being able to reduce dust generation between 30 and 85 percent depending on the source of the dust generation.

- Apply approved non-toxic chemical soil stabilizers according to manufacturers' specifications to all inactive construction areas (previously graded areas inactive for four days or more).
- Replace ground cover in disturbed areas as quickly as possible.
- Enclose, cover, water twice daily, or apply approved soil binders to exposed piles (i.e., gravel, sand, and dirt) according to manufacturers' specifications.
- Water active grading sites at least twice daily.
- Suspend all excavating and grading operations when wind speeds (as instantaneous gusts) exceed 25 miles per hour.
- All trucks hauling dirt, sand, soil, or other loose materials are to be covered or should maintain at least two feet of freeboard (i.e., minimum vertical distance between top of the load and the top of the trailer), in accordance with Section 23114 of the California Vehicle Code.
- Sweep streets at the end of the day if visible soil material is carried over to adjacent roads (recommend water sweepers using reclaimed water if readily available).
- Install wheel washers where vehicles enter and exit unpaved roads onto paved roads, or wash off trucks and any equipment leaving the site each trip.
- Apply water three times daily or chemical soil stabilizers according to manufacturers' specifications to all unpaved parking or staging areas or unpaved road surfaces.
- Enforce traffic speed limits of 15 miles per hour or less on all unpaved roads.

Noise

- The project developer shall incorporate the following best management practices for noise control of demolition and construction activities into the construction documents to be implemented by all project contractors:
 - ◆ Maximize the physical separation between noise generators and noise receptors. Such separation includes, but is not limited to, the following measures: provide enclosures for stationary equipment and barriers around particularly noisy areas on the site or around the entire site; use shields, impervious fences, or other physical sound barriers, to inhibit the transmission of noise to sensitive receptors; and position stationary equipment to minimize noise impacts on the community.
 - ◆ Require that all construction equipment engines be properly tuned and muffled according to manufacturers' specifications.
 - ◆ Select haul routes for the removal of excavation materials and transport of building materials in conjunction with the City of Downey such that noise-sensitive (e.g., residential) areas are avoided as much as possible.

- ◆ Neighbors within 500 feet of construction areas shall be notified of the construction schedule in writing, prior to construction. The project sponsor shall designate a “disturbance coordinator” who shall be responsible for responding to any local complaints regarding construction noise. The coordinator (who may be an employee of the developer or general contractor) shall determine the cause of the complaint and shall require that reasonable measures warranted to correct the problem be implemented. A telephone number of the noise disturbance coordinator shall be conspicuously posted at the construction site fence and on the notification sent to neighbors adjacent to the site.
- ◆ Construction activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. with no construction allowed on Sunday.

Hazardous Materials

- The Applicant and the City shall comply with all applicable Federal, State and local plans and policies regarding hazardous substances use, transportation, and disposal, as well as contaminant remediation, including, but not limited to the applicable provisions of the Toxic Substances Control Act (TSCA), the Asbestos Hazard Emergency Response Act (AHERA), the California Health and Safety Code, the California Hazardous Waste Control Law, and other applicable provisions of the California Code of Regulations (CCR), as well as applicable regulations promulgated by the U.S. and California Occupational Safety and Health Administrations (OSHA) and Environmental Protection Agency (EPA).
- Prior to issuance of a grading permit, the City of Downey shall, in consultation with and with the approval of the RWQCB, formulate a plan to be implemented in the event that grading or excavation activities during construction expose potentially contaminated soils (e.g., soils that exhibit staining or odors).
At a minimum, the plan shall identify the RWQCB as a responsible agency, and shall include the following specific points:
 - ◆ All work in the vicinity of the affected area shall cease.
 - ◆ The Los Angeles RWQCB shall be contacted.
 - ◆ The appropriate California Health and Safety Code procedures shall be followed.
 - ◆ The plan shall also identify a procedure for sampling, testing, and remediation, as appropriate, of contaminated soils, and for obtaining the concurrence of and necessary clearance from the RWQCB, before construction activities can resume. The plan shall also provide for the preventative procedures for the protection of construction workers during work in areas where contaminated soils have previously been discovered.

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